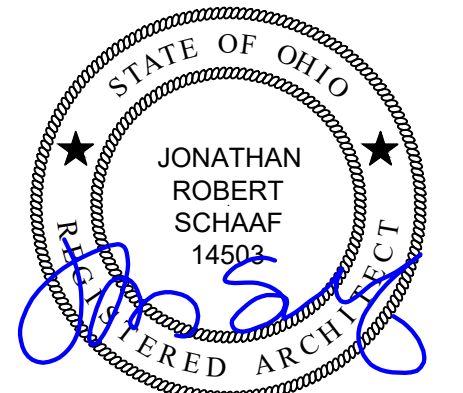


# Active Radon System Installation for: Greater Dayton Premier Management



Jonathan Robert SchAAF #14503  
Expiration Date 12/31/2027

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**Caliph Court**  
5000 - 5078 Caliph Court  
Dayton, Ohio 45406

**Woodview**  
Fielding Dr. & Sunshine Ct.  
Dayton, Ohio 45403

**Westdale**  
110 Melba St.  
Dayton, Ohio 45402

**Limestone - Modena**  
Limestone Ave. & Modena St.  
Dayton, Ohio 45417

**Mount Crest**  
700 Mount Crest Ct.  
Dayton, Ohio 45403

**Park Manor**  
220 Park Manor Dr.  
Dayton, Ohio 45410

**Riverside**  
Iddings Ct.  
Dayton, Ohio 45405

**Riverview**  
3018 - 3426 W. Riverview Ave.  
Dayton, Ohio 45406

**Rosemont**  
1432 & 1438 Rosemont Blvd.  
Dayton, Ohio 45410

**Friden - Whitmore**  
Friden Ct. & Whitmore Ave.  
Dayton, Ohio 45417

**Malden - Hollencamp**  
Malden Ave. & Hollencamp Ave.  
Dayton, Ohio 45417

**RDA GROUP ARCHITECTS**  
7662 PARAGON ROAD | DAYTON, OH 45459 | 937.610.3440



Active Radon System Installations for:  
**Greater Dayton Premier Management**

Project Number  
2025-129

Date  
October 27, 2025

Date	Issue
10.01.25	80% Review
10.27.25	Bid / Construction
04.28.26	Addendum 2

Sheet Title  
Project Title Sheet

Sheet Number

**G1.1**

**OWNER**



**Greater Dayton Premier Management**  
400 Wayne Ave.  
Dayton, Ohio 45410

**DESIGN TEAM**

**ARCHITECT:**



**ABBREVIATIONS**

*	DEGREES	FD	FLOOR DRAIN	R / RAD	RADIUS
±	PLUS OR MINUS	FDN	FOUNDATION	RA	RETURN AIR
#	NOT EQUAL	FE	FIRE EXTINGUISHER	RB	RUBBER BASE
Ø	DIAMETER	FEC	FIRE EXTINGUISHER CABINET	RD	ROOF DRAIN
∠	ANGLE	FF	FINISH FLOOR	REF	REFRIGERATOR
⊥	CENTERLINE	FIN	FINISH / FINISHED	REFN	REINFORCE
⊞	PROPERTY LINE	FRT	FIRE RETARDANT TREATED	REQ'D	REQUIRED
ABV	ABOVE	FSE	FOOD SERVICE EQUIPMENT	REQ/MT	REQUIREMENT(S)
ADA	ACCESSIBLE / HANDICAP ACCESSIBLY / ACCESSIBILITY - ANSI ICC-117.1	FTG	FOOTING	REV	REVISION
AFF	ABOVE FINISH FLOOR	FV	FIELD VERIFY	RO	ROUGH OPENING
ALT	ALTERNATE	GA	GAUGE	R/W	RIGHT OF WAY
ALUM	ALUMINUM	GALV	GALVANIZED	SALV	SALVAGED
APPROX	APPROXIMATE	GC	GENERAL CONTRACTOR	SF	SQUARE FEET
ATC	ACOUSTIC TILE CEILING	GYP	GYP SUM BOARD	SIM	SIMILAR
BET/BETWN.	BETWEEN	GYP BD	GYP SUM BOARD	SM	SHEET METAL
BLKG	BLOCKING	HB	HOSE BIBB	SPEC	SPECIFICATION
BRG	BEARING	HM	HOLLOW METAL	SQ	SQUARE
BSMT	BASEMENT	HOR	HORIZONTAL	SS	STAINLESS STEEL
BTM	BOTTOM	HT	HEIGHT	STD	STANDARD
CIP	CAST IN PLACE	HVAC	HEATING, VENTILATION, AIR CONDITIONING	STL	STEEL
CJ	CONTROL JOINT	INT	INTERIOR	T	TEMPERED
CL	CENTERLINE	JB	JUNCTION BOX	TBD	TO BE DETERMINED
CLG	CEILING	LL	LIVE LOAD	T&B	TOP AND BOTTOM
CLR	CLEAR	LLH	LONG LEG HORIZONTAL	T&G	TONGUE AND GROOVE
CMU	CONCRETE MASONRY UNIT	LLV	LONG LEG VERTICAL	T.O.	TOP OF
COL	COLUMN	LTL	LINTEL	TR	TREATED
CONC	CONCRETE	MAX	MAXIMUM	TYP	TYPICAL
CONT	CONTINUOUS	MECH	MECHANICAL	UFAS	UNIFORM FEDERAL ACCESSIBILITY STANDARD
CPT	CARPET	MFR	MANUFACTURER	UNO	UNLESS NOTED OTHERWISE
CT	CERAMIC TILE	MIN	MINIMUM	UL	UNDERWRITER'S LABORATORY
DEMO	DEMOLISH / DEMOLITION	MISC	MISCELLANEOUS	VB	VAPOR BARRIER
DF	DRINKING FOUNTAIN	MO	MASONRY OPENING	VERT	VERTICAL
DIA	DIAMETER	MS	METAL STUD	W/	WITH
DIM	DIMENSION	MTD	MOUNTED	W/O	WITHOUT
DIV	DIVISION	MTL	METAL	WD	WOOD
DP	DEEP	NIC	NOT IN CONTRACT	W.P.	WORK POINT
DS	DOWNSPOUT	NOM	NOMINAL	WRB	WEATHER RESISTIVE BARRIER
DTL	DETAIL	NTS	NOT TO SCALE	WWF	WELDED WIRE FABRIC
DW	DISHWASHER	OC	ON CENTER		
DWG	DRAWING	OH	OVERHEAD		
EA	EACH	OPG	OPENING		
EERO	EMERGENCY ESCAPE & RESCUE OPENING	OPP	OPPOSITE		
EIFS	EXTERIOR INSULATION FINISH SYSTEM	PEMB	PRE-ENGINEERED METAL BUILDING		
EJ	EXPANSION JOINT	PL	PLATE / PROPERTY LINE		
ELEC	ELECTRIC / ELECTRICAL	PTD	PAINTED		
ELEV	ELEVATION / ELEVATOR	QT	QUARRY TILE		
EQU	EQUAL	QTY	QUANTITY		
EQUIP	EQUIPMENT				
EX	EXISTING				
EXP	EXPANSION				

**SHEET INDEX**

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G1.2	GENERAL SPECIFICATIONS & TYPICAL DETAILS
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A1.2	WOODVIEW PLANS
A1.3	WESTDALE PLANS
A1.4	LIMESTONE - MODENA PLANS
A1.5	MOUNT CREST PLANS
A1.6	PARK MANOR PLANS
A1.7	RIVERSIDE PLANS
A1.8	RIVERVIEW PLANS
A1.9	ROSEMONT PLANS
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A1.11	MALDEN - HOLLENCAMP

**DESIGN-BUILD STATEMENT**

- ACCOMPLISH ALL REQUIRED DESIGN FOR PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS ON A DESIGN-BUILD BASIS BY THE RESPECTIVE TRADE CONTRACTORS.
- ALL DESIGN-BUILD DOCUMENTS ARE THE RESPONSIBILITY OF THE TRADE CONTRACTOR. ENGINEERED DESIGNS, UNDER SEAL OF A REGISTERED DESIGN PROFESSIONAL SHALL BE AS REQUIRED BY THE BUILDING DEPARTMENT.
- DESIGN-BUILD CONTRACTORS TO COORDINATE ALL WORK WITH THAT OF OTHER TRADES AND IS RESPONSIBLE FOR THE SAME.
- PROVIDE COPY OF ALL DESIGN-BUILD DRAWINGS/DOCUMENTS TO THE PROJECT TEAM FOR REVIEW AND PROJECT RECORDS.
- ANY SCHEMATIC / CONCEPTUAL PLUMBING, MECHANICAL, AND ELECTRICAL PROVIDED IN THIS SET OF DRAWINGS ARE FOR REFERENCE ONLY INDICATING THE ARCHITECTURAL DESIGN INTENT. COORDINATE FINAL LAYOUT, FIXTURE SELECTION, ETC. BETWEEN CLIENT, CONTRACTOR, AND THE APPLICABLE TRADE CONTRACTOR.

**RDA CONTRACT ADMINISTRATION**

- RDA IS PROVIDING CONTRACT ADMINISTRATION SERVICES FOR THIS PROJECT. CONTRACTOR AND CLIENT / OWNER ARE RESPONSIBLE TO COORDINATE THE PROPOSED WORK, SCHEDULES, INSTALLATIONS, PERMITS, INSPECTIONS, ETC.
- CONTACT ARCHITECT FOR CLARIFICATION SHOULD THERE BE QUESTIONS REGARDING THE INTERPRETATION OR INTENT OF THE DOCUMENTS. FIELD DISCOVERY, ETC. THAT WOULD IMPACT OR AFFECT THE WORK AS PROPOSED. RDA IS NOT LIABLE FOR DEVIATIONS, FIELD CHANGES, AND CLIENT / OWNER CHANGES DURING CONSTRUCTION.
- FIELD CONFIRM ALL EXISTING CONDITIONS, PROPOSED INSTALLATIONS AND HOW THEY INTERFACE TO ENSURE THE SYSTEMS CAN BE INSTALLED PER THE INTENT OF THE DOCUMENTS AND TO MEET APPLICABLE BUILDING AND ZONING CODES, LOCAL REQUIREMENTS, CLIENT / OWNER REQUIREMENTS, ETC.
- MEET ALL APPLICABLE BUILDING AND ZONING CODES REQUIREMENTS WHETHER SPECIFICALLY NOTED HEREIN OR NOT. BUILDING CODES REPRESENT THE MINIMUM ACCEPTABLE STANDARD.
- INSTALL ALL PRODUCTS, MATERIALS, INSTALLATIONS, AND THE LIKE IN ACCORDANCE WITH APPLICABLE INDUSTRY STANDARDS, APPLICABLE MANUFACTURER'S DETAILS AND INSTRUCTIONS, IN ACCORDANCE WITH BEST PRACTICES, AND BUILDING CODE PROVISIONS.

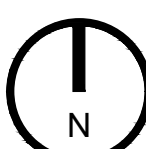
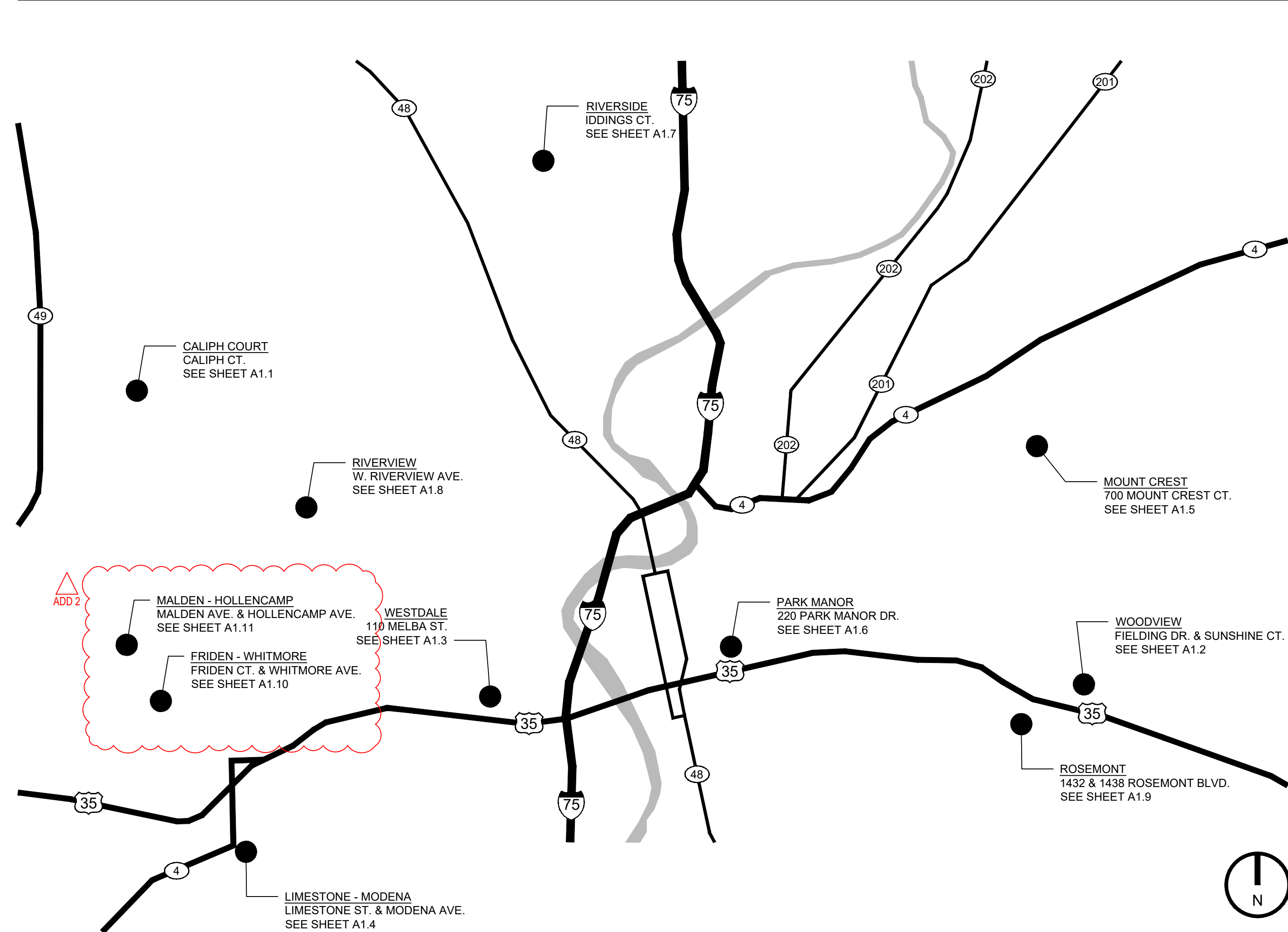
THE PLANS AND SPECIFICATIONS ARE INTENDED TO DEPICT THE GENERAL SCOPE, LAYOUT AND QUALITY OF WORKMANSHIP REQUIRED. THE DOCUMENTS ARE NOT AN INSTRUCTION MANUAL TO EXECUTE THE WORK NOR ARE THEY INTENDED TO SHOW OR DESCRIBE IN DETAIL EVERY ITEM NECESSARY FOR THE PROPER INSTALLATION OF THE WORK. THE MEANS AND METHODS REQUIRED TO EXECUTE THE WORK DESCRIBED IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL INCLUDE THE ANCILLARY WORK REQUIRED, WHETHER EXPLICITLY STATED OR NOT, FOR THE PROPER COMPLETION OF THE WORK AS INTENDED. THE CONTRACTOR IS REQUIRED TO MEET OR EXCEED BUILDING CODE REQUIREMENTS, APPLICABLE INDUSTRY STANDARDS, ASTM STANDARDS, AND/OR MANUFACTURER INSTALLATION REQUIREMENTS AS THEY RELATE TO THE WORK.

THE PLANS AND SPECIFICATIONS REPRESENT A SINGLE COMPLETE DESIGN PACKAGE INDICATING THE INTENDED SCOPE OF THE PROJECT IN ITS ENTIRETY. AS SUCH, THE PROJECT IS STRUCTURED TO BE AWARDED TO A SINGLE PRIME CONTRACTOR. THE DOCUMENTS DO NOT DELINEATE BID PACKAGES OR ASSIGN RESPONSIBILITIES TO ANY SUBSEQUENT SUBCONTRACTORS. DICTATE CONSTRUCTION SEQUENCING, NOR PROVIDE COORDINATION BETWEEN ANY TRADES. SUCH ACTIVITIES ARE THE RESPONSIBILITY OF THE HOLDER OF THE CONSTRUCTION CONTRACT. IN THE EVENT OF A DISCREPANCY WITHIN THE DRAWINGS OR BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT REPRESENTED IN THE DOCUMENTS SHALL PREVAIL.

**WALL / SYMBOL LEGEND**

	EXISTING WALL TO REMAIN
	NEW CONSTRUCTION KEY NOTE
	ROOM
	ROOM TAG

**VICINITY MAP**



ADD 2

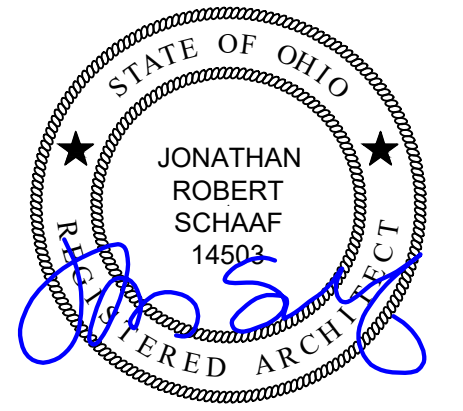
**GENERAL PROJECT REQUIREMENTS**

**SECTION 01 00 00 - GENERAL REQUIREMENTS**

1. **PERMITS:**
  - 1.1. CONFORM TO THE 2024 OHIO EXISTING BUILDING CODE AND 2024 OHIO BUILDING CODE, AND ALL OTHER LOCAL GOVERNING CODES AND ORDINANCES HAVING THE AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK.
  - 1.2. VERIFY ALL PERMITS HAVE BEEN APPROVED BY APPROPRIATE AGENCIES PRIOR TO START OF CONSTRUCTION. NO CONSTRUCTION OR FABRICATION OF ANY ITEMS SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY DOCUMENTATION FROM ALL OF THE PERMITTING AND REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY AN REGULATORY AUTHORITY.
  - 1.3. PAY FOR ALL REQUIRED PERMITS. WORK SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS ARE OBTAINED.
  - 1.4. ARCHITECT IS NOT RESPONSIBLE FOR ANY ADDITIONAL COSTS RESULTING FROM WORK STARTED PRIOR TO OBTAINING ALL PERMITS / GOVERNING AGENCIES APPROVALS.
  - 1.5. MAINTAIN A COPY OF APPROVED PERMIT DRAWINGS ON-SITE FOR INSPECTION PURPOSES. COORDINATE WITH BUILDING DEPARTMENT.
  - 1.6. NOTIFY THE BUILDING DEPARTMENT WHEN WORK IS READY FOR INSPECTION. FOLLOW ALL REQUIREMENTS OF BUILDING DEPARTMENT. PROVIDE ACCESS FOR ALL INSPECTORS.
  - 1.7. MAINTAIN RECORDS OF INSPECTIONS ON THE JOB SITE IN ACCORDANCE WITH REQUIREMENTS OF BUILDING DEPARTMENT.
  - 1.8. PAY ALL FEES REQUIRED BY INSPECTIONS, EXCEPT FOR INSPECTIONS MADE BY OWNER OR IT'S AGENTS.
  - 1.9. COMPLETE ALL WORK TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY EACH RESPECTIVE TRADE.
2. **TRASH / DEBRIS:** PROVIDE ALL REQUIRED TRASH DUMPSTERS, HAULING, ETC. AS REQ'D FOR THE PROJECT. KEEP JOB SITE CLEAN DURING CONSTRUCTION. PERIODICALLY AND PROMPTLY REMOVE ALL DEBRIS FROM SITE IN A LEGAL MANNER.
3. **FINAL CLEANING:** PROVIDE FINAL CLEANING PRIOR TO FINAL INSPECTION AND TURN OVER OF THE PROJECT.
4. **CONSTRUCTION SAFETY:** CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION SAFETY. COMPLIANCE TO BE IN ACCORDANCE WITH ALL STATE, FEDERAL, AND O.S.H.A. REGULATIONS. ARCHITECT AND CONTRACTORS ARE NOT RESPONSIBLE FOR ANY DAMAGES RESULTING FROM THE NEGLECT OF TIMELY AND RESPONSIBLE MAINTENANCE OF THE PROJECT BY THE OWNER AFTER PROJECT COMPLETION.
  - 4.1. ALL FIRE EXITS ARE TO REMAIN CLEAR AND OPEN DURING ALL PHASES OF CONSTRUCTION IF APPLICABLE.
  - 4.2. TEMPORARY PROTECTION / BARRICADES: ERECT ALL REQ'D TEMPORARY PROTECTION AND BARRICADES TO ALLOW CONTINUED USE OF THE FACILITY. COORDINATE WITH CLIENT / OWNER AS REQ'D.
5. **FIRE PREVENTION:** PROVIDE FIRE EXTINGUISHERS AT THE JOBSITE. PROVIDE FIRE WATCH FOR ALL HOT WORK ACTIVITIES INCLUDING CUTTING, WELDING, AND OTHER CONSTRUCTION OPERATIONS THAT ARE CAPABLE OF STARTING FIRES.
6. **PRODUCTS:**
  - 6.1. INSTALL ALL MATERIALS, EQUIPMENT, APPLIANCES, ETC. ACCORDING TO MANUFACTURERS SPECIFICATIONS, RECOMMENDATIONS, AND INSTRUCTIONS, WHETHER A COMPLETE SYSTEM OR A COMPONENT PART OF A COMPLETE CONSTRUCTION SYSTEM.
  - 6.2. CLIENT / OWNER TO COORDINATE AND SELECT ALL FINAL FINISHES / SELECTIONS. COORDINATE ALL REQUIREMENTS OF FINISH SELECTIONS, AND CORRELATION BETWEEN FINISHES, TRIM COMPONENTS, ETC. PROVIDE MOCKUPS OF WORK/FINISHES AS APPLICABLE TO ENSURE CONFORMANCE WITH THE DESIGN INTENT.
  - 6.3. COMPLY WITH ALL ACCESSIBILITY / ADA REQUIREMENTS. ENSURE ALL WORK, FINISHES, FIXTURES, AND ACCESSORIES ARE PROVIDED AND INSTALLED TO ENSURE COMPLIANCE.
  - 6.4. ITEMS MAY BE REFERRED TO AS SINGULAR, OR PLURAL ON THE DRAWINGS AND SPECIFICATIONS. CONTRACTOR TO DETERMINE QUANTITY OF EACH ITEM REQUIRED.
7. **COORDINATION:**
  - 7.1. COORDINATE ALL SPECIFIC WORK / SCOPE ITEMS WITH CLIENT / OWNER.
  - 7.2. COORDINATE ALL WORK / SCOPE BETWEEN SUB-CONTRACTORS, SUPPLIERS, AND VENDORS BASED ON THE ENTIRE SET OF DOCUMENTS. PROVIDE ANY REQ'D ADAPTATIONS TO ACCOMMODATE FIELD CONDITIONS PRIOR TO ORDERING, FABRICATION, OR INSTALLATION.
  - 7.3. PROVIDE FULL SET OF CONSTRUCTION DOCUMENTS TO ALL SUB-CONTRACTORS.
  - 7.4. NO ADDITIONAL COMPENSATION TO CONTRACTOR FOR ISSUES RESULTING FROM THE USE OF AN INCOMPLETE SET OF CONSTRUCTION DOCUMENTS.
  - 7.5. NOTIFY ARCHITECT IMMEDIATELY IN WRITING OF ERRORS, OMISSIONS, INCONSISTENCIES, OR DISCREPANCIES BETWEEN CONTRACT DOCUMENTS, DRAWINGS, SPECIFICATIONS, ETC. PRIOR TO PROCEEDING WITH WORK. ANY SITE / JOB CONDITIONS THAT ARISE AND CAUSE CONTRACTOR TO VARY FROM CONTRACT DOCUMENTS IS THE RESPONSIBILITY OF THE CONTRACTOR IF NOT REPORTED TO ARCHITECT PRIOR TO PROCEEDING.
  - 7.6. DO NOT SCALE DRAWINGS
  - 7.7. "N.I.C." INDICATES WORK AND / OR MATERIALS NOT IN THE CONTRACT OF THE CONTRACTOR. THIS DOES NOT RELIEVE THE CONTRACTOR OF ALL ASPECTS OF COORDINATION.
  - 7.8. EXAMINE AND BECOME FAMILIAR WITH SITE AND JOB CONDITIONS PRIOR TO START OF WORK. VERIFY ALL DIMENSIONS, EXISTING CONDITIONS, INFORMATION IN THE DRAWINGS, AVAILABLE UTILITIES, ETC. GOVERNING THEIR SCOPE OF THE WORK. NOTIFY ARCHITECT IN WRITING OF ANY AND ALL DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONTRACT DOCUMENTS. COMMENCEMENT OF WORK IMPLIES ACCEPTANCE OF CONDITIONS.
  - 7.9. CONTACT CLIENT OR ARCHITECT REGARDING ALL QUESTIONS OR DISCREPANCIES. COMMUNICATION WITH ARCHITECT'S CONSULTANTS OR OTHERS IS NOT CONSIDERED VALID AND ANY RESULTANT CHANGES IN WORK, ADDITIONAL COSTS, APPROVALS, PERMITS, ETC. IS THE CONTRACTOR'S RESPONSIBILITY.
  - 7.10. ARCHITECT IS NOT RESPONSIBLE FOR QUALITY OR QUANTITY OF WORK. FIELD INSPECTIONS, REVIEWING CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCING, PROCEDURES, PAYMENT APPLICATIONS, OR TO DETERMINE THE DISTRIBUTIONS OF FUNDS, ETC.
  - 7.11. CONTRACT DOCUMENTS, DRAWINGS, OR DETAILS IN THIS SET MAY INDICATE TYPICAL CONDITIONS WHICH MAY VARY FROM ACTUAL CONSTRUCTION. COORDINATE CONDITIONS / DETAILS WITH CLIENT.

**EXISTING CONDITIONS**

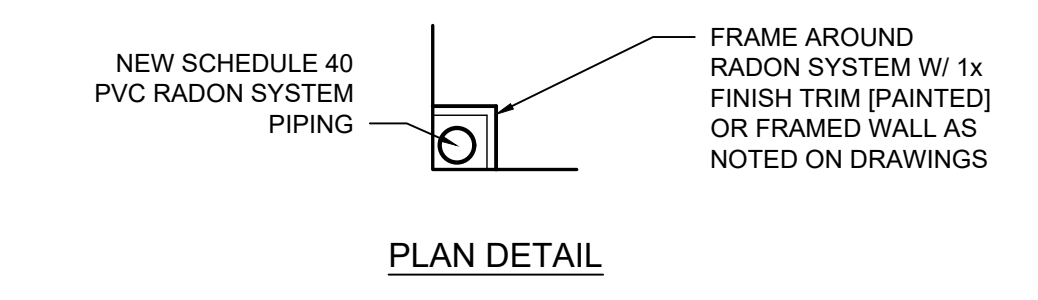
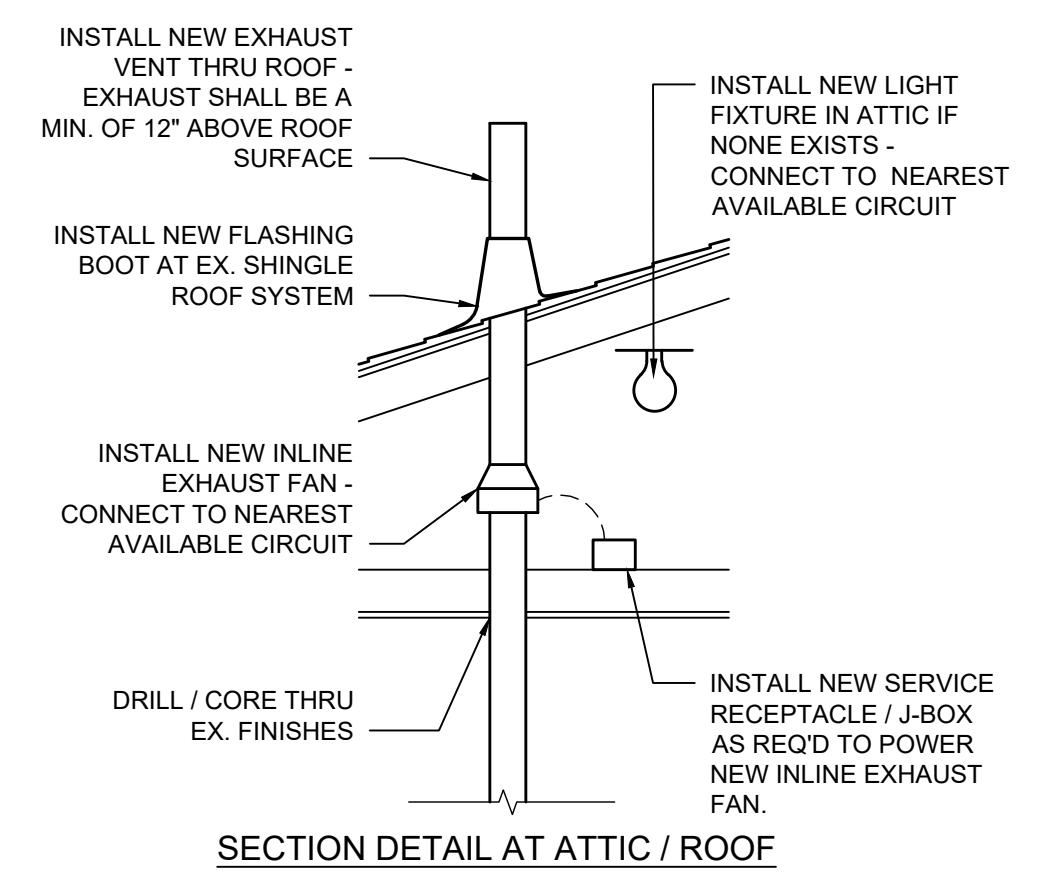
1. NOTIFY ARCHITECT AND CLIENT / OWNER IF ANY PART OR PARTS OF THE EXISTING BUILDING STRUCTURE SHOW SIGNS OF ROTTING, VANDALISM, WATER DAMAGE, PEST DAMAGE, OR OTHER DAMAGE / FAILURE / DETERIORATION WHICH MAY CAUSE THE PART / PARTS / BUILDING TO NOT MEET APPLICABLE BUILDING CODES, COMPROMISE SAFETY, CREATE RISK OF FAILURE, OR NOT MEET STANDARD BUILDING PRACTICES.
2. VERIFY EXISTING STRUCTURE HAS CAPACITY TO SUPPORT NEW NEW CONSTRUCTION WHERE INDICATED TO BE SUSPENDED FROM THE EXISTING STRUCTURE.
3. **PROTECTION / CUTTING AND PATCHING:**
  - 3.1. PROTECT EXISTING CONSTRUCTION AND RESTORE ALL FINISH SURFACES TO THEIR ORIGINAL CONDITION WHERE DAMAGED BY WORK.
  - 3.2. VERIFY & COORDINATE EXTENT OF SLAB CUT AND TRENCHING FOR NEW PLUMBING AND ELECTRICAL WITH PROPOSED WORK. SAWCUT AND / OR CORE AND REMOVE CONCRETE SLAB AS REQUIRED FOR INSTALLATION OF ELECTRIC AND PLUMBING. COMPACT SUB-GRADE AND FILL FLUSH TO EXISTING SURFACE. PROVIDE SMOOTH, LEVEL, STEEL TROWELED SURFACE READY TO RECEIVE NEW FINISHES.
  - 3.3. PROVIDE ALL FLOOR LEVELING, PATCHING, AND REMEDIAL REPAIRS AS REQUIRED BY THE SCOPE OF WORK. REPAIRS INCLUDE, BUT ARE NOT LIMITED TO, WORK REQUIRED TO PROVIDE A SMOOTH AND EVEN TRANSITION BETWEEN NEW AND EXISTING SPACES AND TO PREPARE EXISTING SURFACES FOR NEW FINISHES.
  - 3.4. FIT WORK TIGHT TO ADJACENT ELEMENTS. MAINTAIN INTEGRITY OF WALL, CEILING, AND/OR FLOOR CONSTRUCTION, COMPLETELY SEAL VOIDS.
  - 3.5. REFINISH SURFACES TO MATCH ADJACENT FINISHES, UNLESS NOTED OTHERWISE.
  - 3.6. PROVIDE ANY AND ALL ACCESS PANELS AS REQUIRED.
  - 3.7. MAINTAIN FIRE RATED ASSEMBLIES WHERE SHOWN, OR AS REQUIRED.
4. **SALVAGED ITEMS:** COORDINATE W/ CLIENT / OWNER.
5. REMOVE ALL MATERIALS AND FINISHES REQUIRED TO PERFORM SCHEDULED WORK INCLUDING ANY ANCILLARY ITEMS.
6. SALVAGE ALL ITEMS AS DIRECTED BY OWNER OR AS NOTED IN THE DRAWINGS. COORDINATE ALL REQUIREMENTS FOR REINSTALLATION OF SALVAGED ITEMS. PROVIDE REPLACEMENT PARTS/COMPONENTS TO ALLOW COMPLETE INSTALLATION.
7. PROTECT ALL FINISHES AND MATERIALS SCHEDULED TO REMAIN FROM DAMAGE DURING CONSTRUCTION. REPAIR ANY DAMAGED FINISHES TO LIKE NEW CONDITION.
8. FIELD CONFIRM THE LOCATIONS OF ALL LOAD-BEARING FRAMING PRIOR TO REMOVALS. PROVIDE SHORING AND BRACING AS REQUIRED. CONTACT ARCHITECT IF CONDITIONS VARY FROM THE INTENT OF THE DRAWINGS.
9. PROVIDE ALL NECESSARY TEMPORARY BRACING AND SHORING DURING DEMOLITION AND CONSTRUCTION WORK.
10. CONTACT ARCHITECT OR ENVIRONMENTAL CONSULTANT IF HAZARDOUS MATERIALS ARE DISCOVERED THAT HAVE NOT BEEN IDENTIFIED.
11. FOLLOW ALL APPLICABLE EPA REQUIREMENTS RELATED TO LEAD BASED PAINT FOR RENOVATION, REPAIR, AND PAINTING. MAINTAIN ALL REQUIRED CERTIFICATIONS.



Jonathan Robert Schaaf #14503  
Expiration Date 12/31/2027

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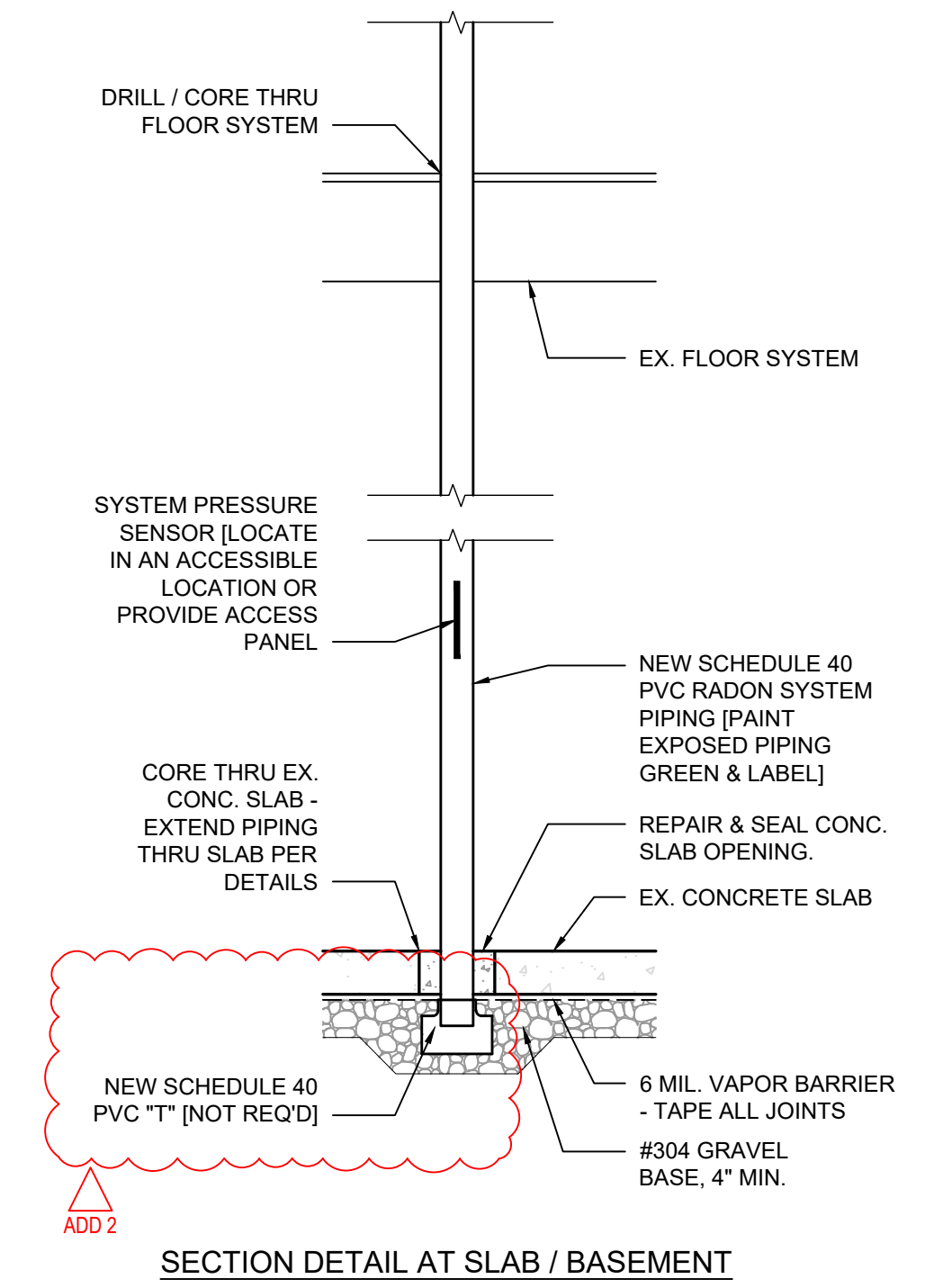


NOTE: ALL UNITS AT THE IDENTIFIED HOUSING SITE WERE TESTED BY OTHER FOR RADON. REPORTS ARE AVAILABLE BY REQUEST. THE UNITS SCHEDULED TO RECEIVE ACTIVE RADON SYSTEMS AS PART OF THIS PROJECT HAVE BEEN TESTED AND THEIR RESPECTIVE RADON LEVELS REQUIRE THE INSTALLATION OF AN ACTIVE RADON MITIGATION SYSTEM. THE UNITS NOT INCLUDED IN THIS PROJECT HAD RADON LEVELS WHICH DO NOT REQUIRE A RADON SYSTEM.

**ACTIVE RADON SYSTEM GENERAL CONCEPT DESIGN NOTES [CONCRETE SLAB]**  
[DELEGATED DESIGN BY CERTIFIED RADON PROFESSIONAL]

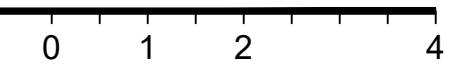
INSTALL AN ACTIVE RADON SYSTEM IN CONFORMANCE WITH THE FOLLOWING REQUIREMENTS.  
DESIGN AND INSTALLATION OF A COMPLETE ACTIVE RADON SYSTEM SHALL BE COMPLETED BY LICENSED RADON MITIGATION CONTRACTOR VIA DELEGATED DESIGN ON A DESIGN-BUILD BASIS:

1. COMPLY WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE FOR RADON CONTROL METHODS APPENDIX AF, SECTION AF101 THRU AF103.12
2. RADON MITIGATION CONTRACTOR TO CONFIRM CONDITIONS INCLUDING SOIL POROSITY TO DETERMINE FULL REQUIREMENTS FOR THE RADON SYSTEM TO PROVIDE THE PROPER AIR EXTRACTION BELOW SLAB.
3. RADON MITIGATION CONTRACTOR TO CONFIRM SYSTEM EFFECTIVENESS PRIOR TO INSTALLATION OF FINAL INTERIOR FINISHES ARE INSTALLED.
4. OPENINGS AROUND ALL PENETRATIONS THROUGH SLABS SHALL BE CAULKED OR OTHERWISE FILLED TO PREVENT AIR LEAKAGE. ACCESS DOORS OR OPENINGS INTO CRAWL SPACES SHOULD BE CLOSED, GASKETED OR OTHERWISE FILLED.
5. SUMP PITS, OPENINGS AROUND BATHTUBS, CONTROL JOINTS, OR OTHER OPENINGS OR CRACKS IN CONCRETE SLABS SHALL BE SEALED WITH POLYURETHANE OR EQUIVALENT SEALANT.
6. A MINIMUM 3" PVC PIPE SHALL BE EMBEDDED INTO THE SUB-SLAB OR SUB MEMBRANE AGGREGATE AND RUN UP THROUGH THE CONDITIONED SPACES OF THE BUILDING, INTO THE ATTIC AND THROUGH THE ROOF.
7. THE EXHAUST SHALL BE A MINIMUM OF 12" ABOVE THE SURFACE OF THE ROOF AND AT LEAST 10' AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2' BELOW THE EXHAUST POINT.
8. CARE SHOULD BE TAKEN WITH PIPE INSTALLATION TO INSURE POSITIVE DRAINAGE BACK INTO THE GROUND AND TO INSURE THAT THE PIPE IS ACCESSIBLE FOR FAN INSTALLATION THROUGH AN ATTIC OR OUTSIDE THE HABITABLE SPACE.
9. ALL PIPING MATERIALS, ELBOWS, TERMINATIONS, ETC. SHALL BE IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS FOR THE THICKNESS OF PIPING WALLS, ETC.



**A ACTIVE RADON SYSTEM DETAILS**

SCALE: 1/2" = 1'-0"



Active Radon System Installations for:  
**Greater Dayton Premier Management**

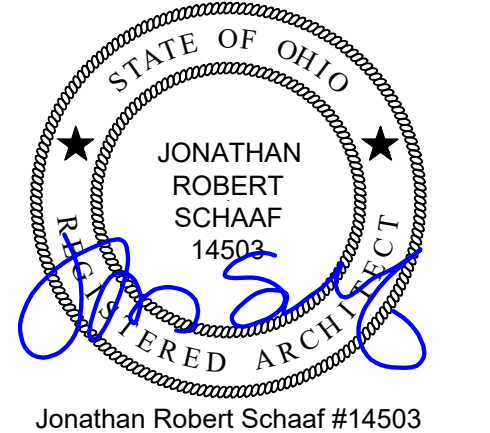
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Sheet Title  
General Notes & Typical Details

Sheet Number  
**G1.2**

NOTE: LOCATIONS IDENTIFIED ARE SCHEMATIC ONLY. RDA HAS NOT FULLY INVESTIGATED THE EXACT ROUTING, FRAMING, UTILITY CONFLICTS, ETC. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND ADJUST INSTALLATION TO SUIT CONDITIONS FOR A COMPLETE FUNCTIONING SYSTEM. PROVIDE ALL ANCILLARY WORK REQUIRED (MINOR DEMOLITION, FINISH REPAIRS, CARPENTRY, SEALANT, ETC.).

- # NEW CONSTRUCTION KEY NOTES
1. LOCATION OF ACTIVE RADON SYSTEM - INSTALL PER TYPICAL INSTALLATION DETAILS.
  2. FRAME AROUND RADON SYSTEM W/ 1x FINISH TRIM (PAINTED)
  3. EXPOSED RADON PIPING IN UNFINISHED BASEMENT [PAINT EXPOSED PIPING GREEN & LABEL]
  4. RADON SYSTEM UP THRU ROOF - INSTALL INLINE FAN, LIGHT, & SERVICE RECEPTACLE IN ATTIC ABOVE.
  5. FRAME AROUND RADON SYSTEM W/ WOOD STUDS & GYP. BD. FINISHES.
  6. MODIFY EXISTING HANGING ROD AND SHELF AS REQUIRED.



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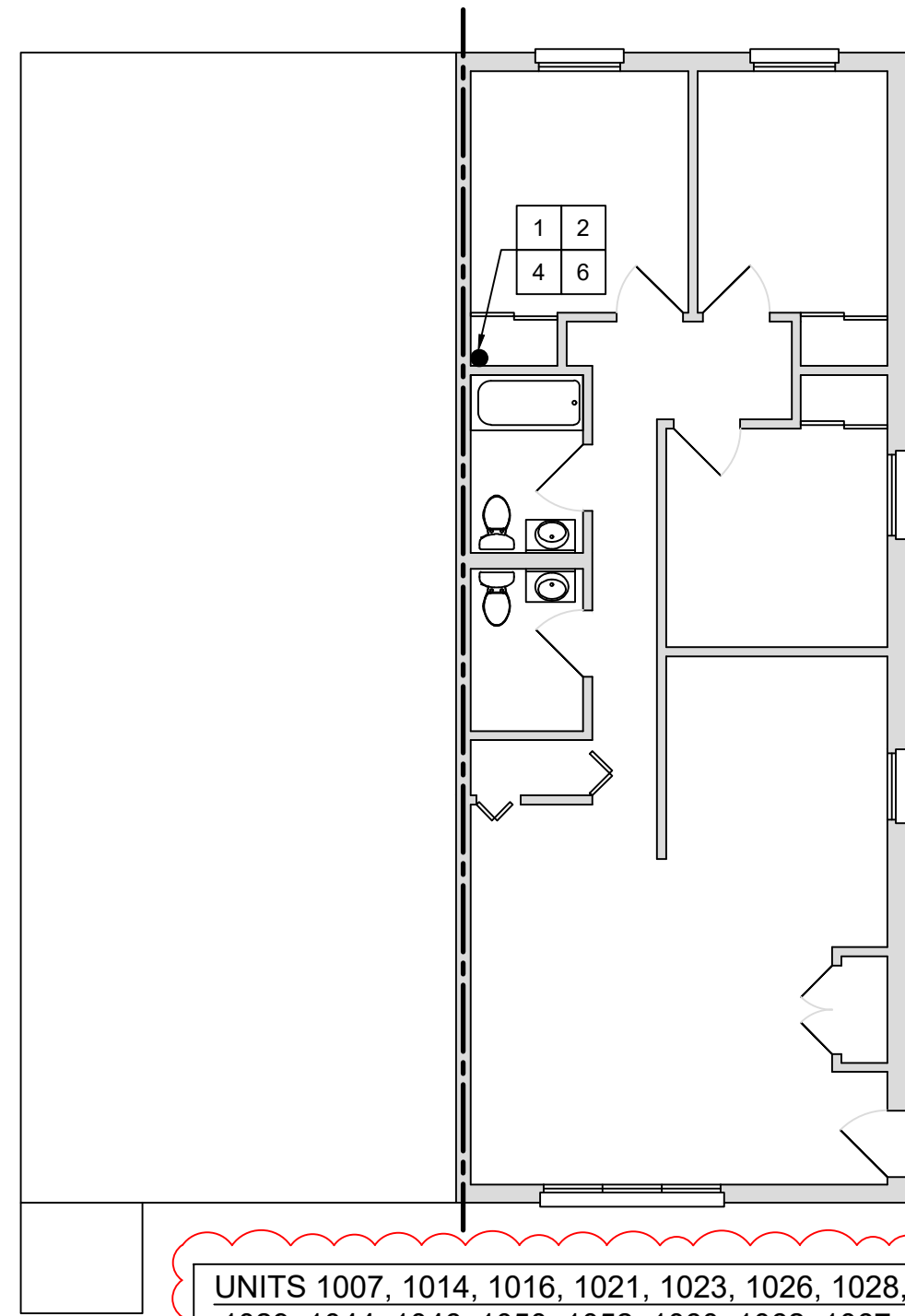
Active Radon System Installations for:  
**Greater Dayton Premier Management**

Project Number	2025-129
Date	October 27, 2025
Date	Issue
10.01.25	80% Review
10.27.25	Bid / Construction
04.28.26	Addendum 2

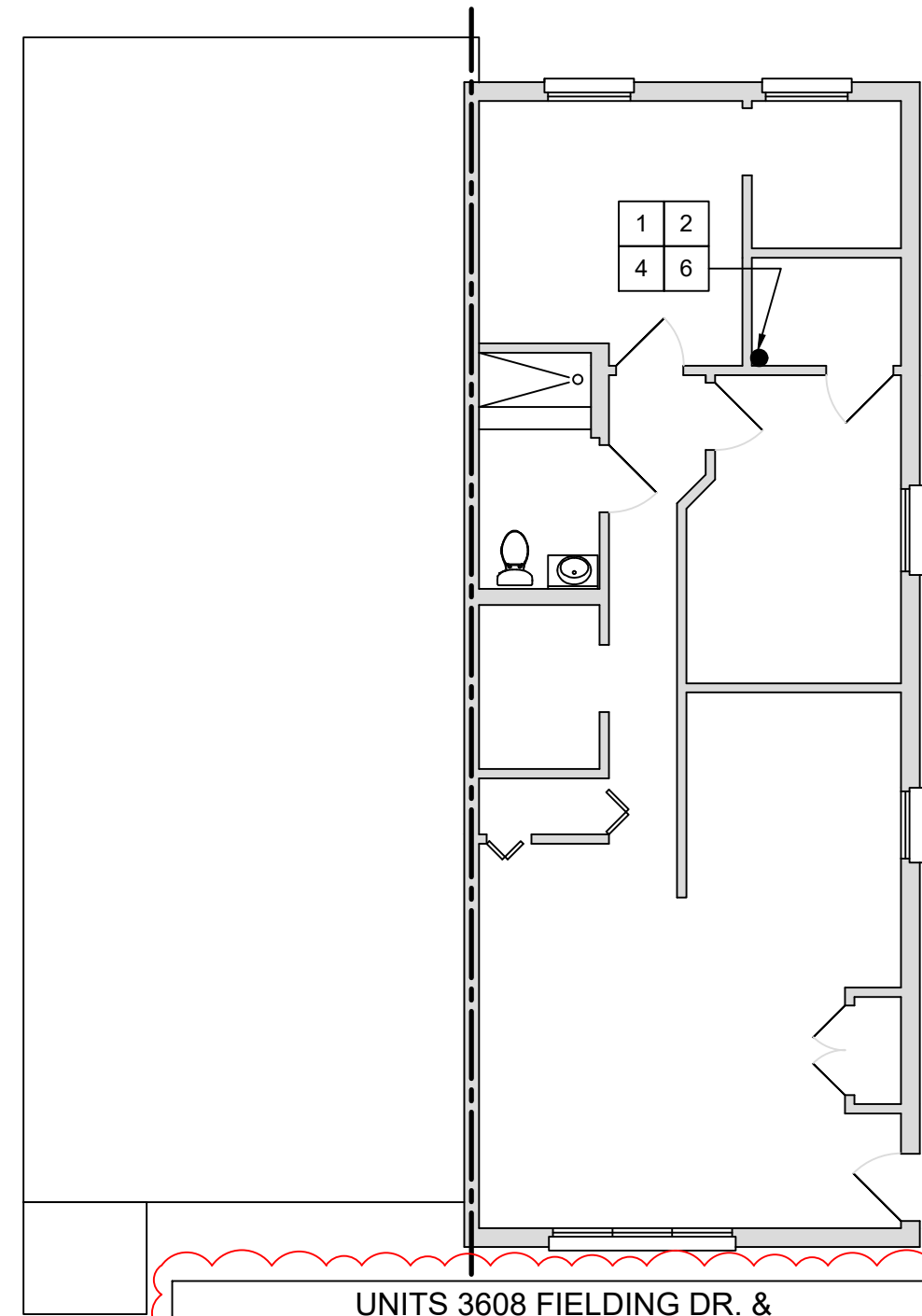
Sheet Title  
Woodview Plans

Sheet Number

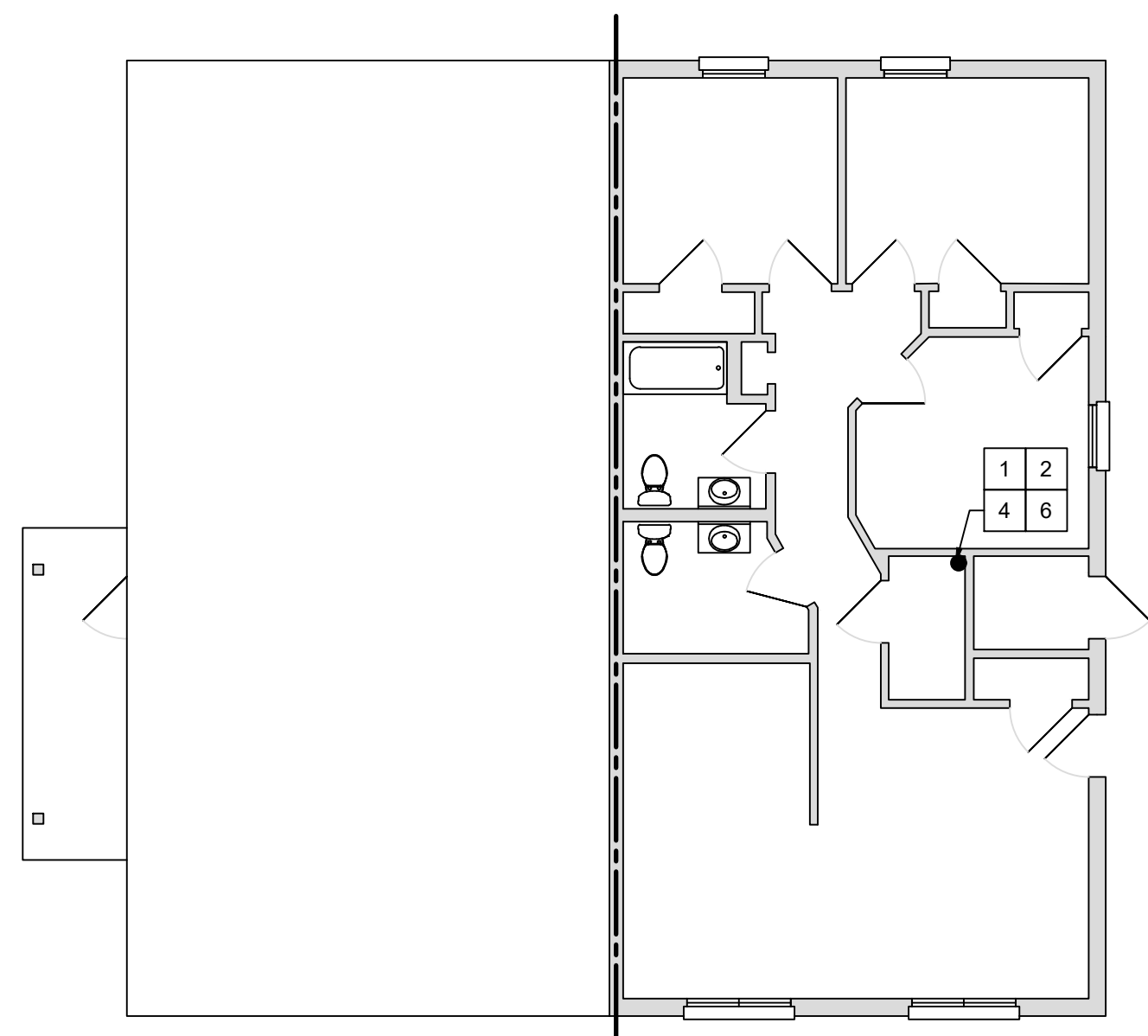
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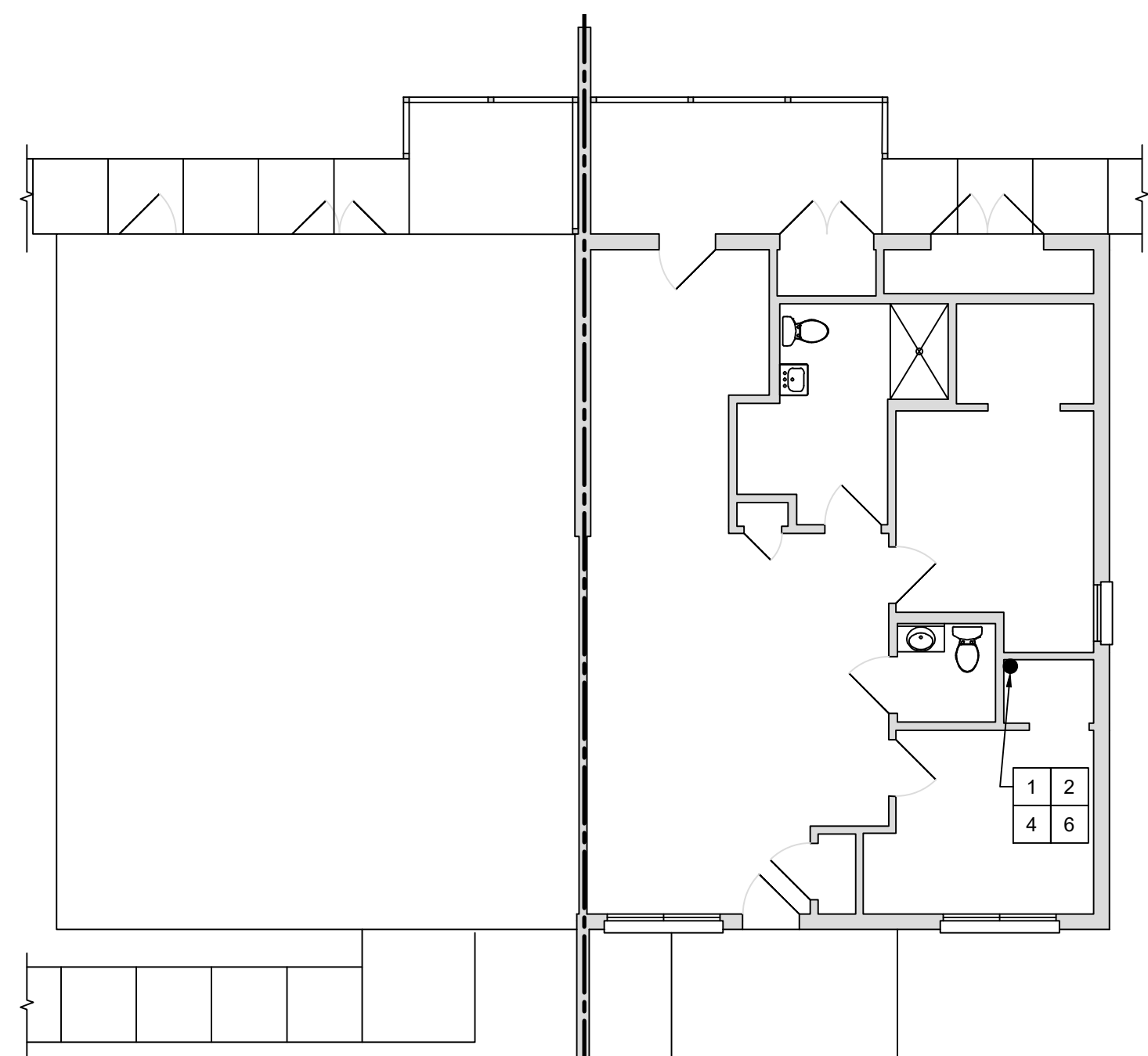
**E** 3 BEDROOM DUPLEX FLOOR PLAN  
SCALE: 1/8" = 1'-0" ADD 2



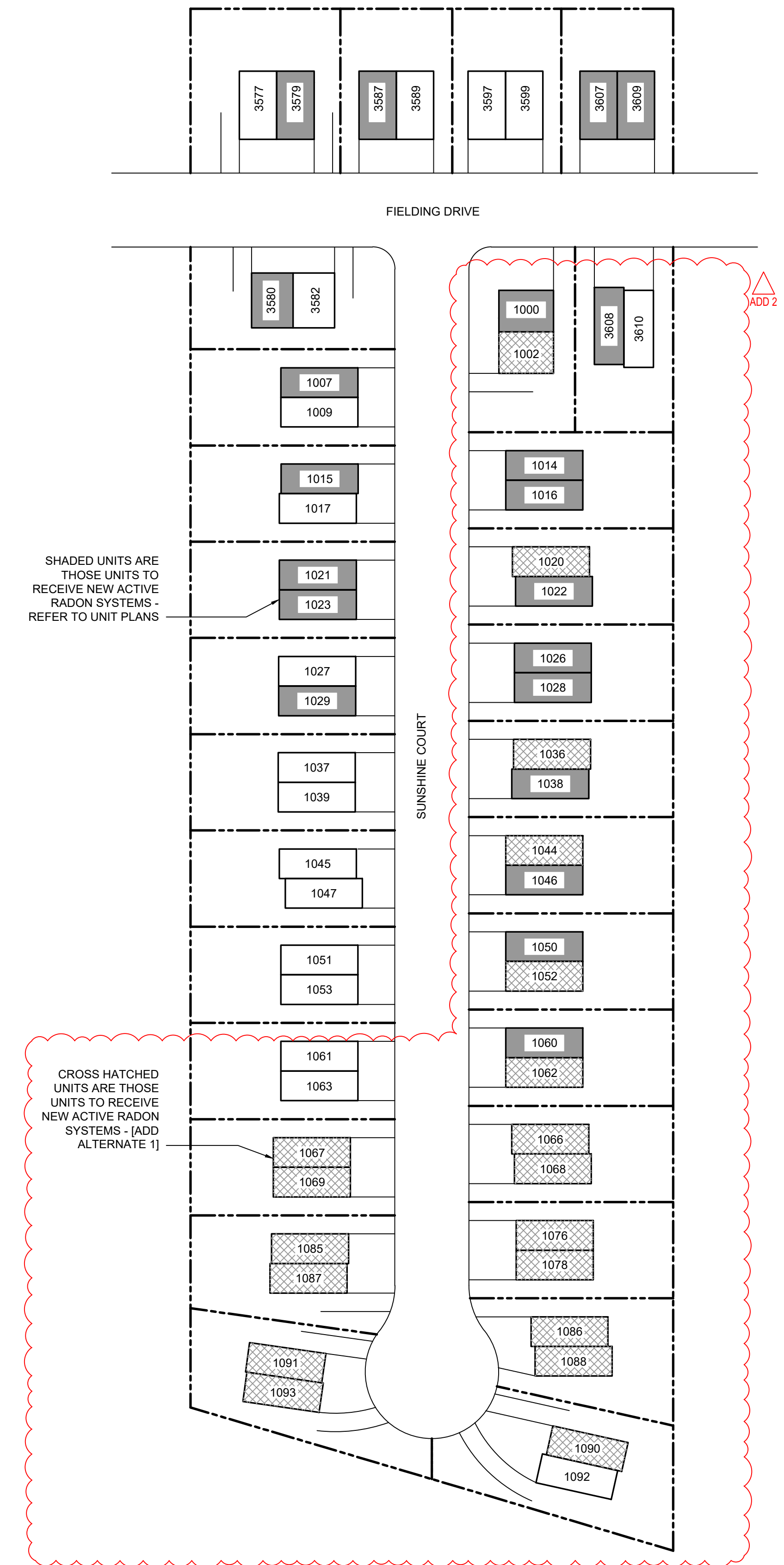
**C** 2 BEDROOM ACCESSIBLE DUPLEX FLOOR PLAN  
SCALE: 1/8" = 1'-0" ADD 2



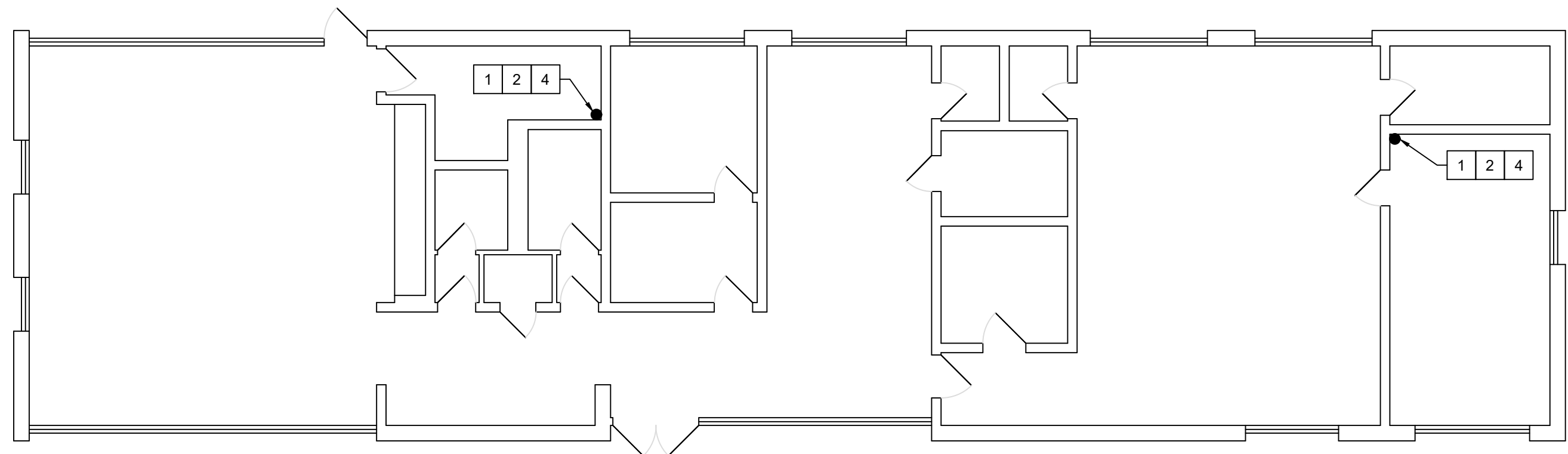
**D** 3 BEDROOM DUPLEX FLOOR PLAN  
SCALE: 1/8" = 1'-0"



**B** 2 BEDROOM ACCESSIBLE DUPLEX FLOOR PLAN  
SCALE: 1/8" = 1'-0" ADD 2

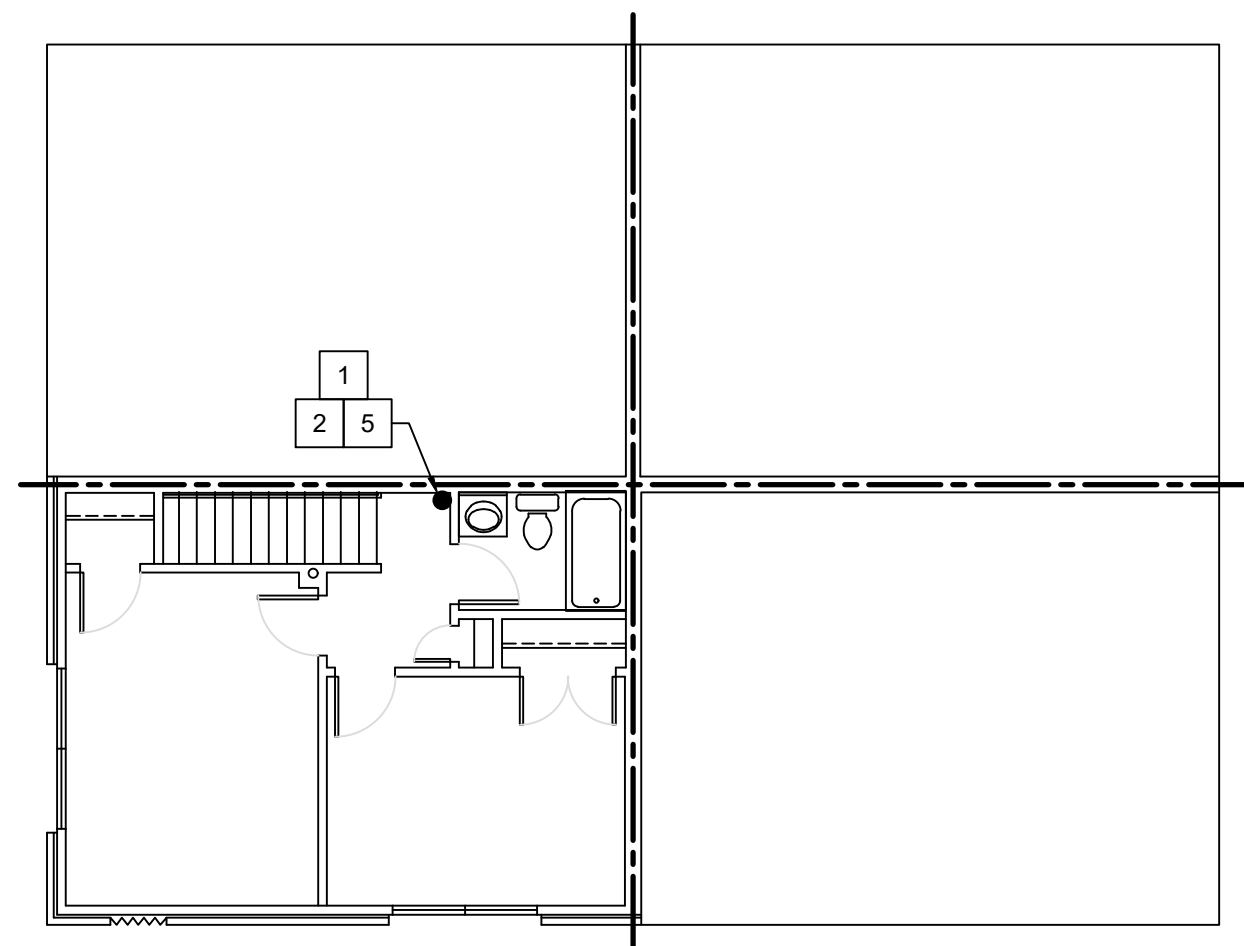


**A** WOODVIEW REFERENCE SITE PLAN  
SCALE: 1" = 60'-0" ADD 2

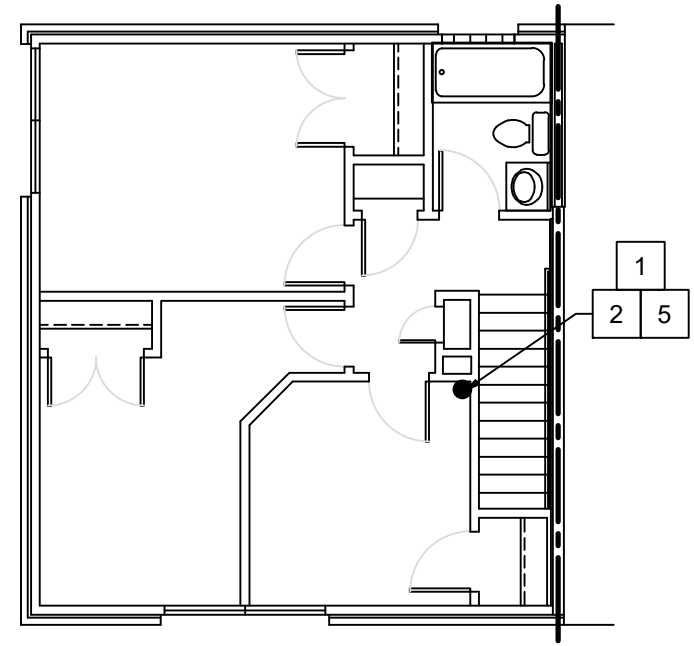


110 MELBA ST.  
- 1 STORY SLAB ON GRADE

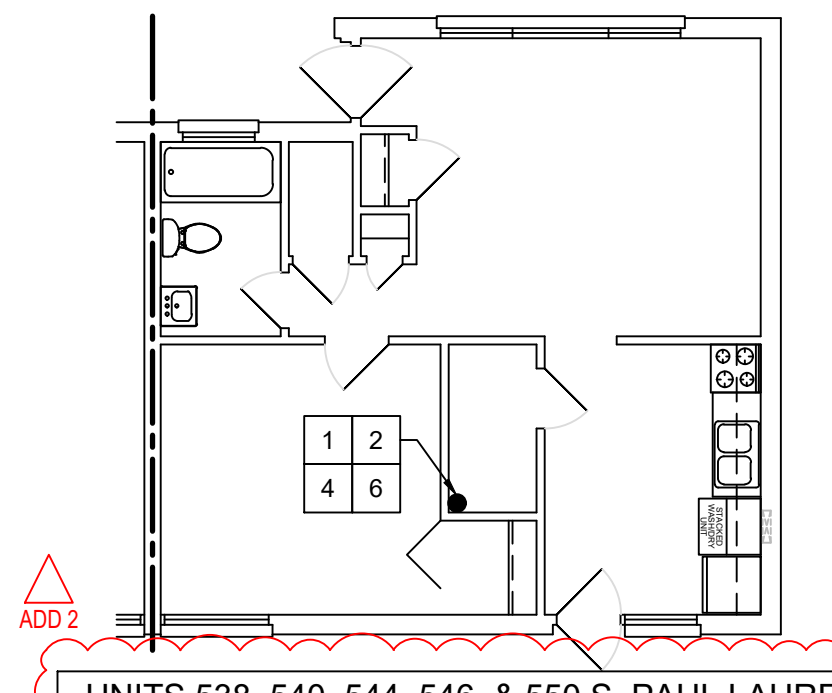
**H** COMMUNITY BUILDING FLOOR PLAN  
SCALE: 1/8" = 1'-0"



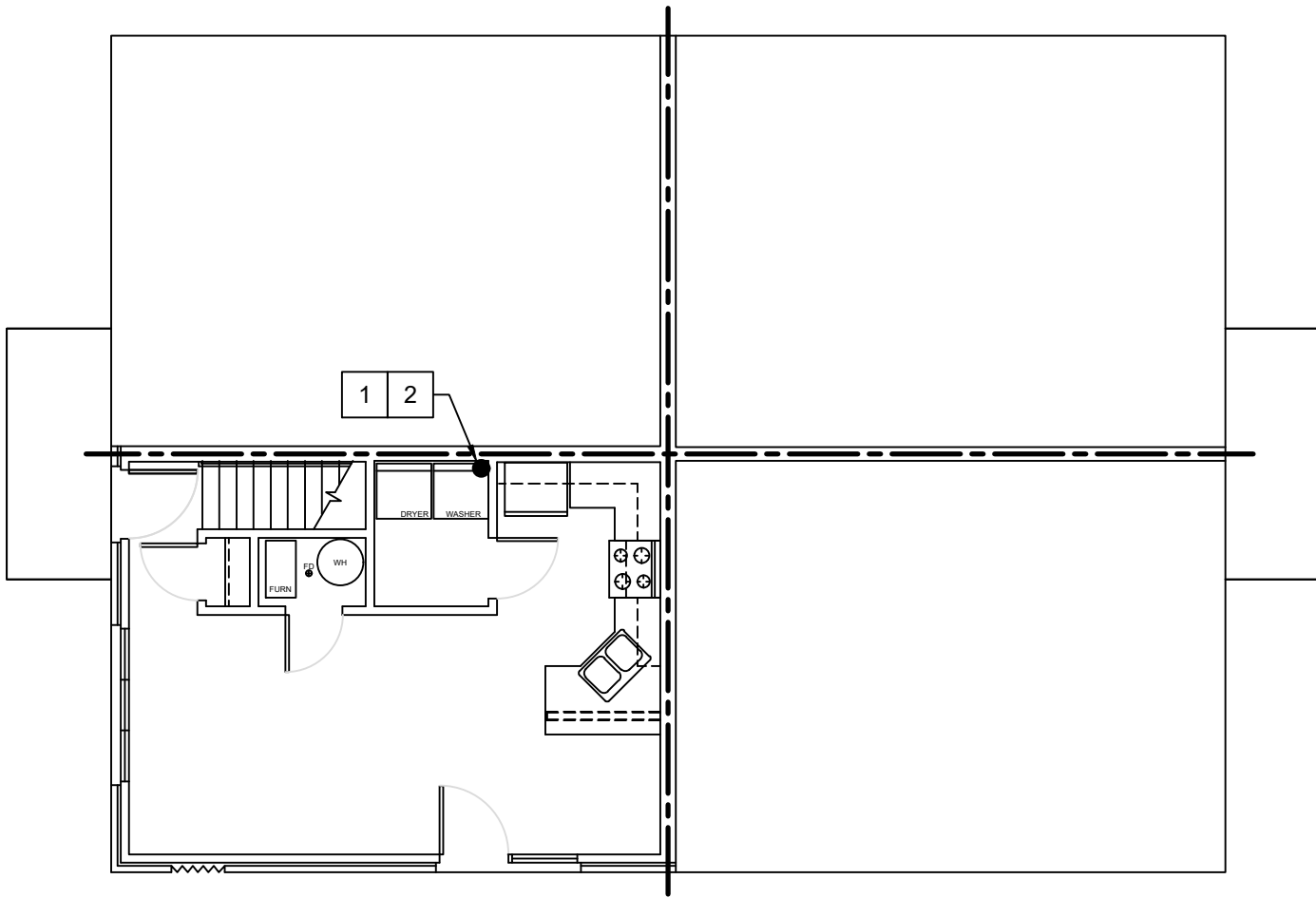
**C** TWO BEDROOM TOWNHOUSE  
SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



**E** THREE BEDROOM TOWNHOUSE  
SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"

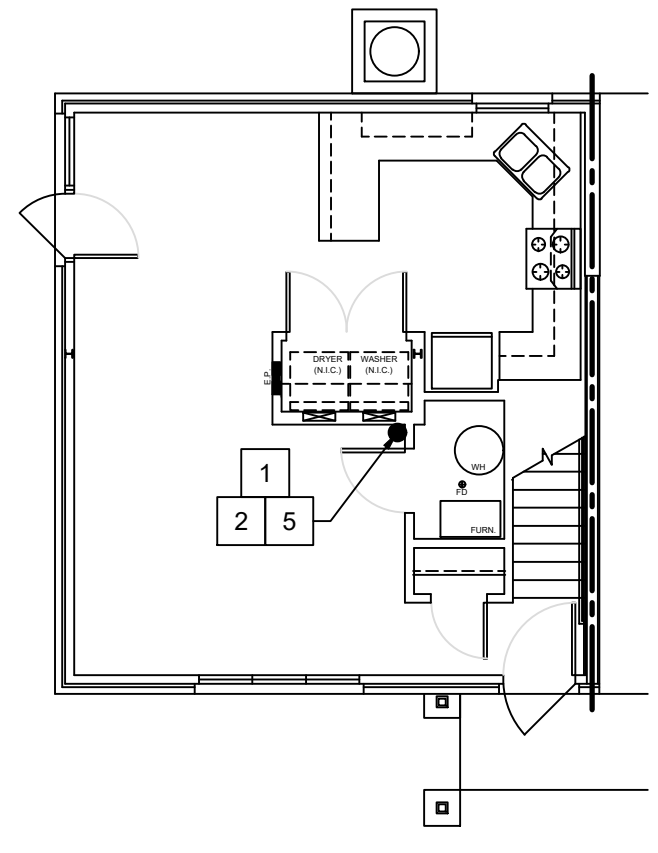


**G** TWO BEDROOM FLAT  
FLOOR PLAN  
SCALE: 1/8" = 1'-0"



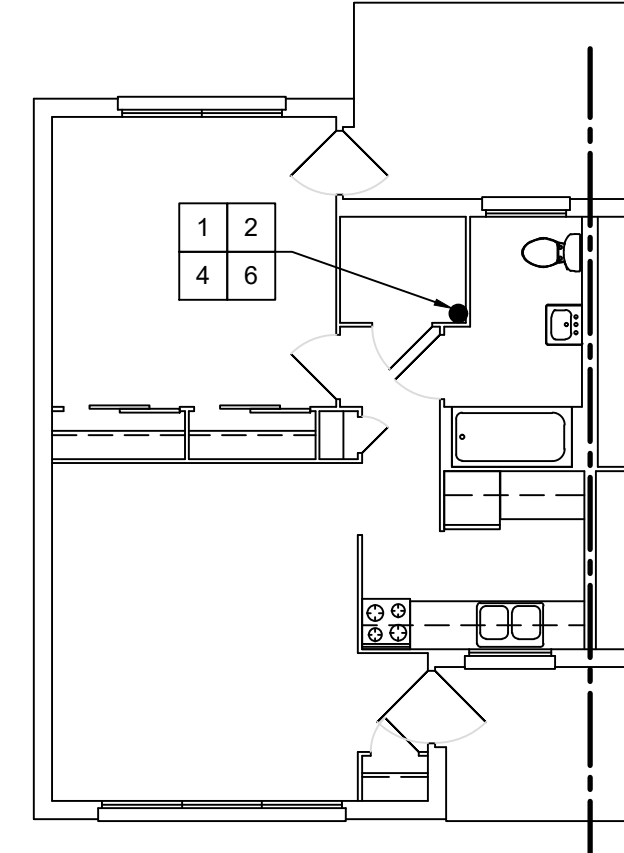
UNITS 514 & 516 S. PAUL LAURENCE DUNBAR ST.  
UNITS 200, 202, 204, 206, 213, 214, 219, 221, 223, & 233 WESTDALE CT.  
- 2 STORY TOWNHOUSE SLAB ON GRADE

**B** TWO BEDROOM TOWNHOUSE  
FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



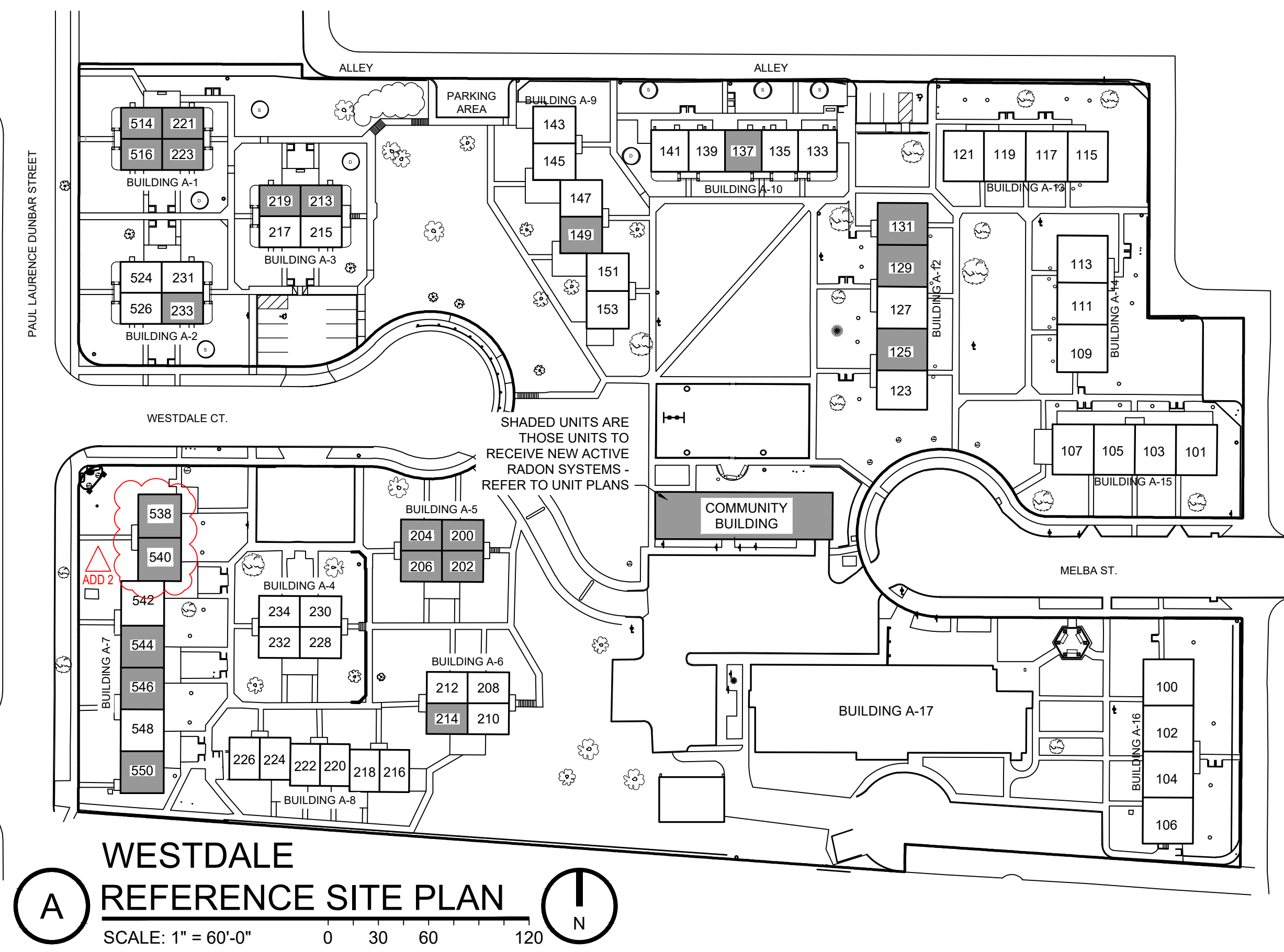
UNITS 137 & 149 MELBA ST.  
- 2 STORY TOWNHOUSE SLAB ON GRADE

**D** THREE BEDROOM TOWNHOUSE  
FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"



UNITS 125, 129, & 131 MELBA ST.  
- 1 STORY SLAB ON GRADE

**F** ONE BEDROOM FLAT  
FLOOR PLAN  
SCALE: 1/8" = 1'-0"



**A** WESTDALE  
REFERENCE SITE PLAN  
SCALE: 1" = 60'-0"

- # NEW CONSTRUCTION KEY NOTES**
1. LOCATION OF ACTIVE RADON SYSTEM - INSTALL PER TYPICAL INSTALLATION DETAILS.
  2. FRAME AROUND RADON SYSTEM W/ 1x FINISH TRIM [PAINTED]
  3. EXPOSED RADON PIPING IN UNFINISHED BASEMENT [PAINT EXPOSED PIPING GREEN & LABEL]
  4. RADON SYSTEM UP THRU ROOF - INSTALL INLINE FAN, LIGHT, & SERVICE RECEPTACLE IN ATTIC ABOVE.
  5. FRAME AROUND RADON SYSTEM W/ WOOD STUDS & GYP. BD. FINISHES.
  6. MODIFY EXISTING HANGING ROD AND SHELF AS REQUIRED.

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04.28.26	Addendum 2

Sheet Title  
Westdale Plans

Sheet Number  
**A1.3**

- # NEW CONSTRUCTION KEY NOTES
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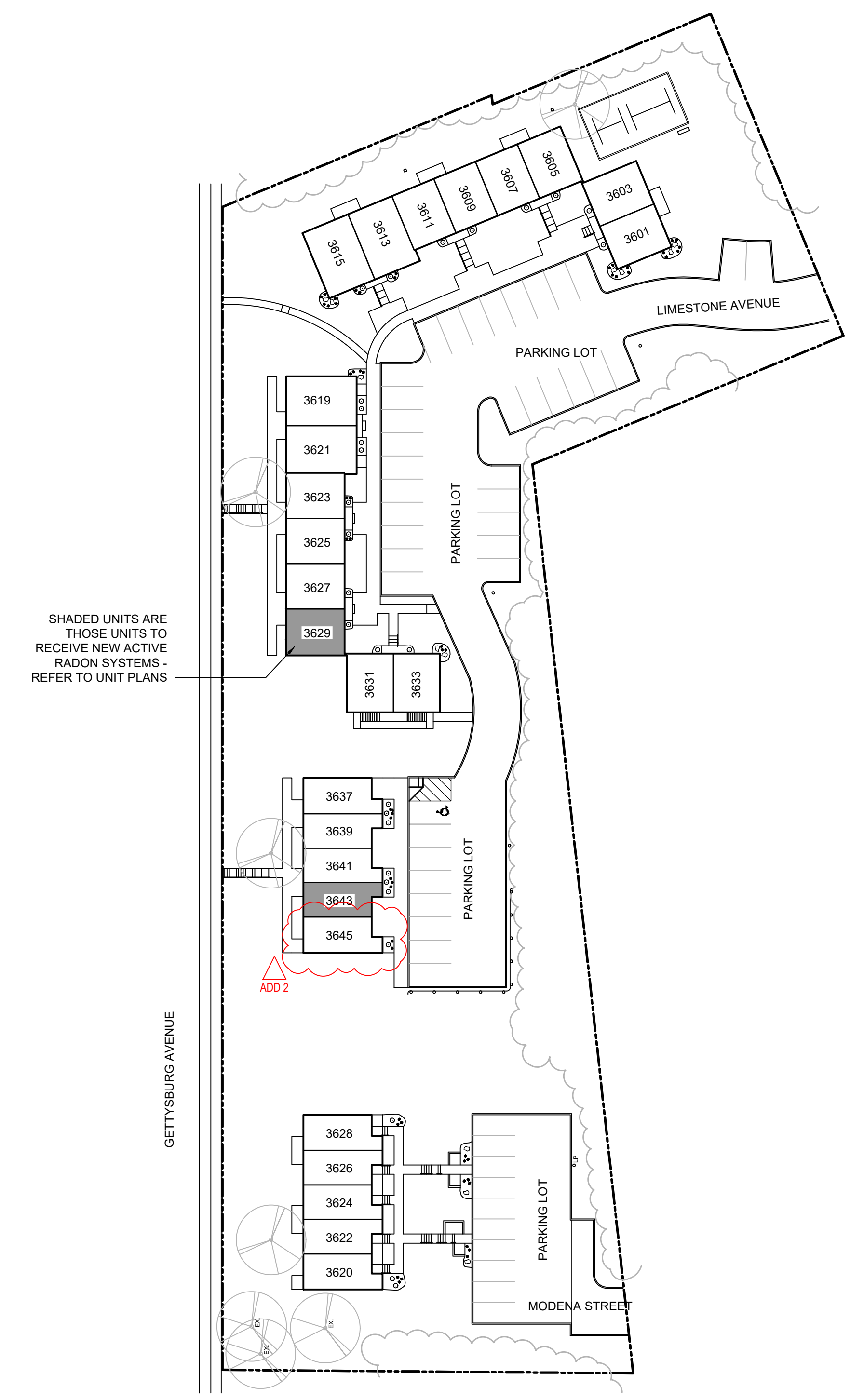
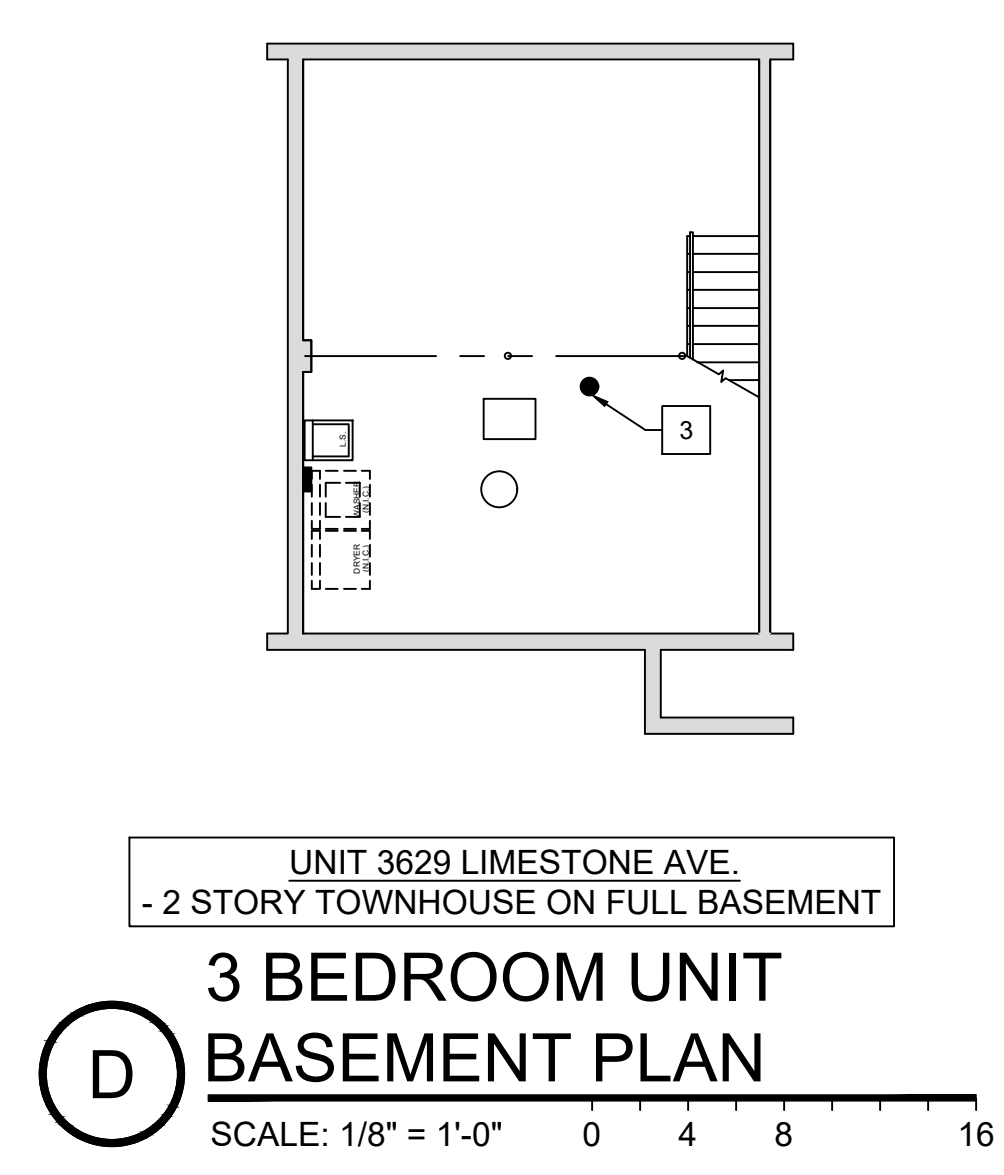
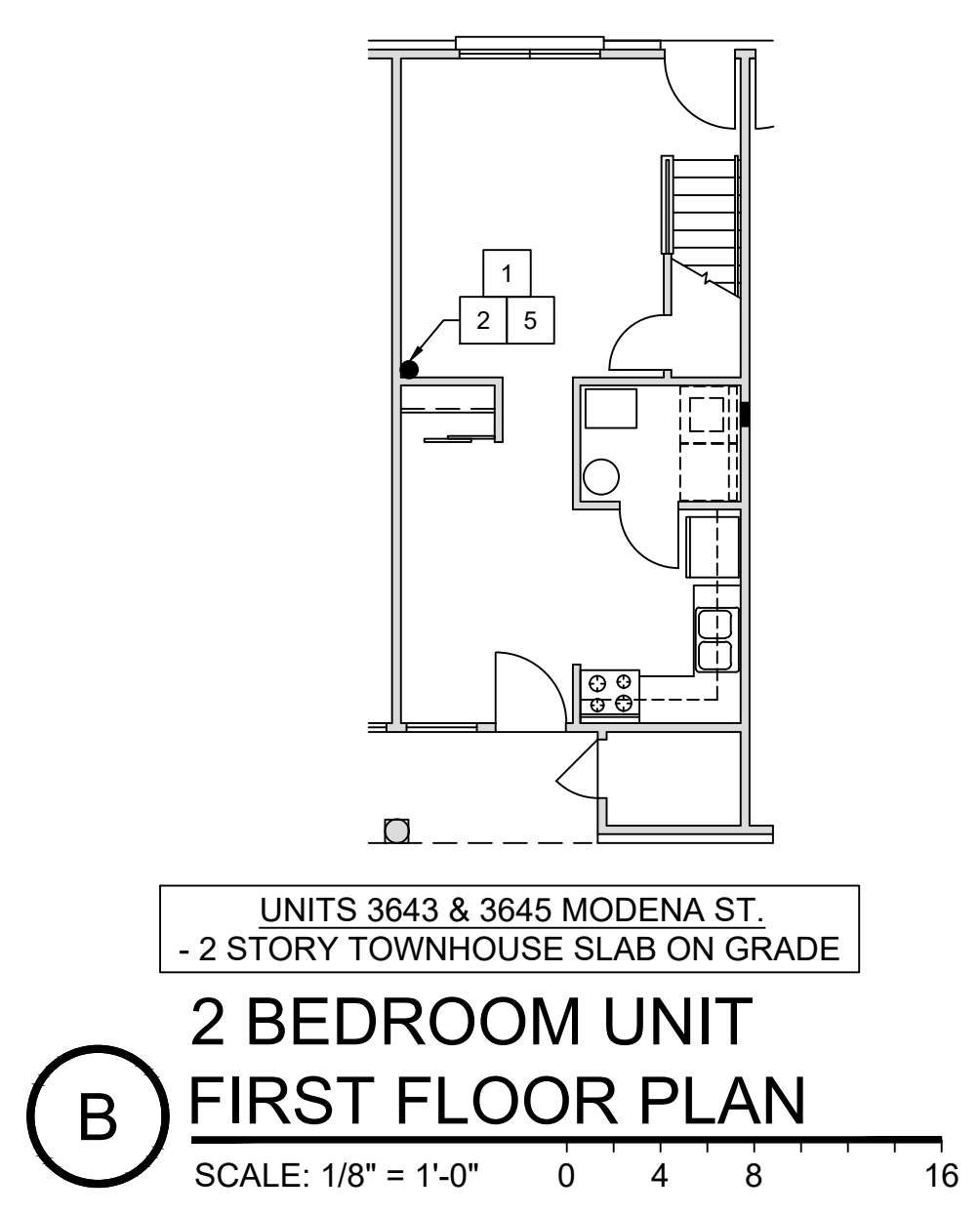
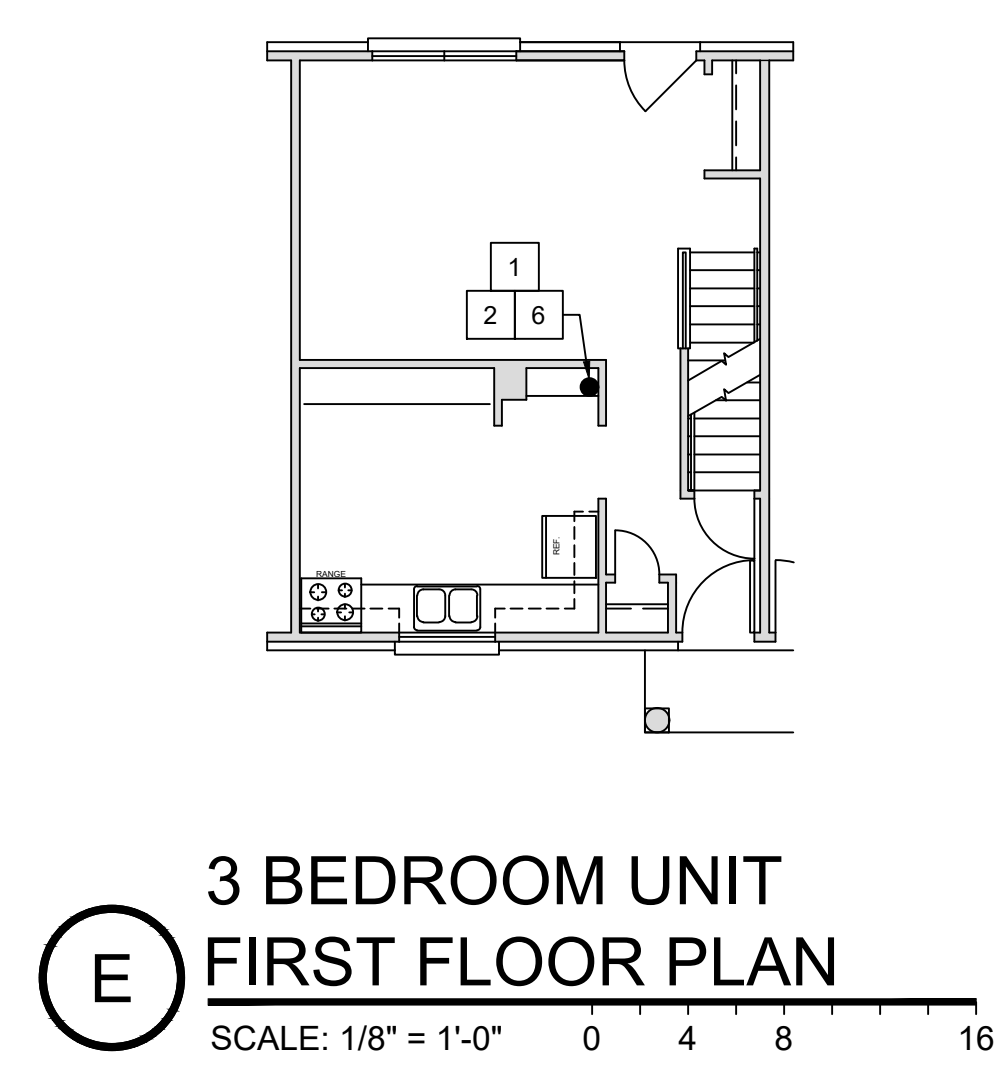
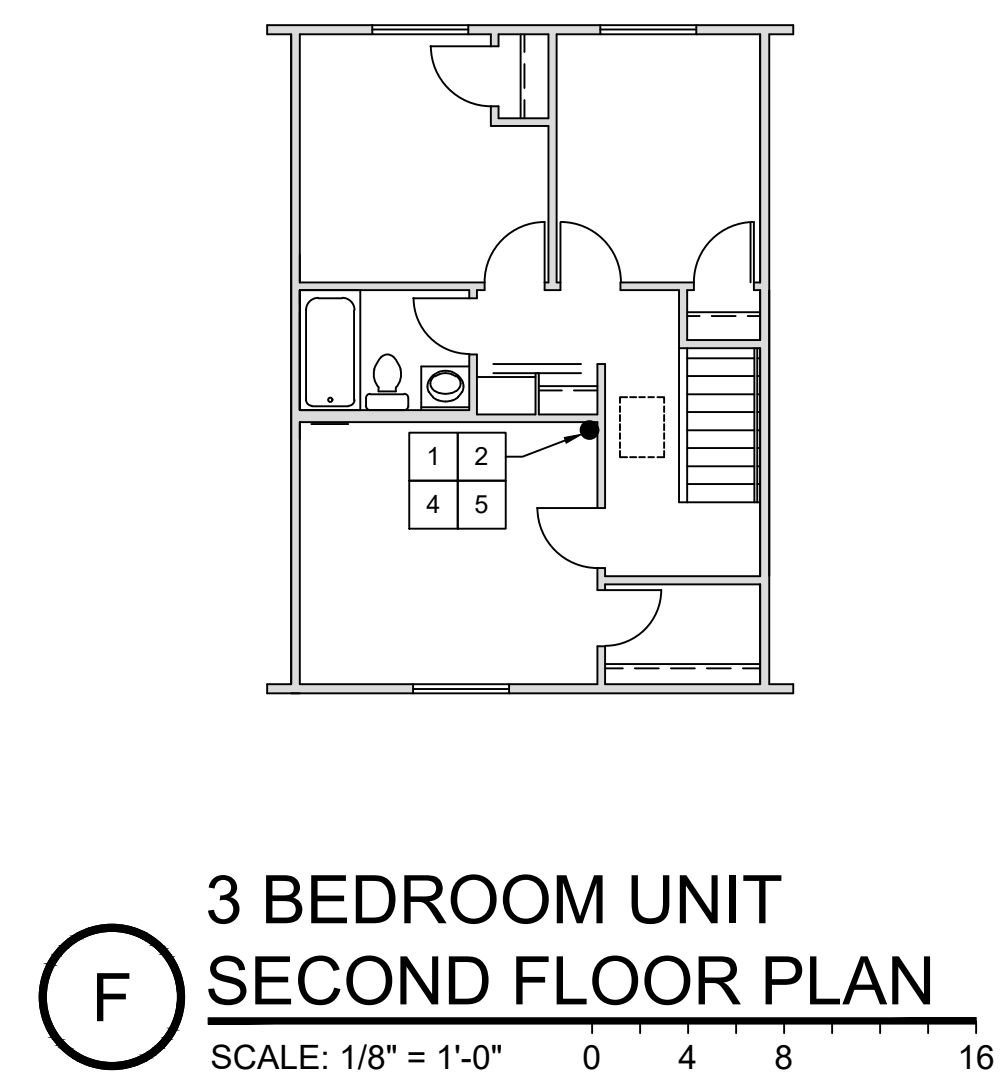


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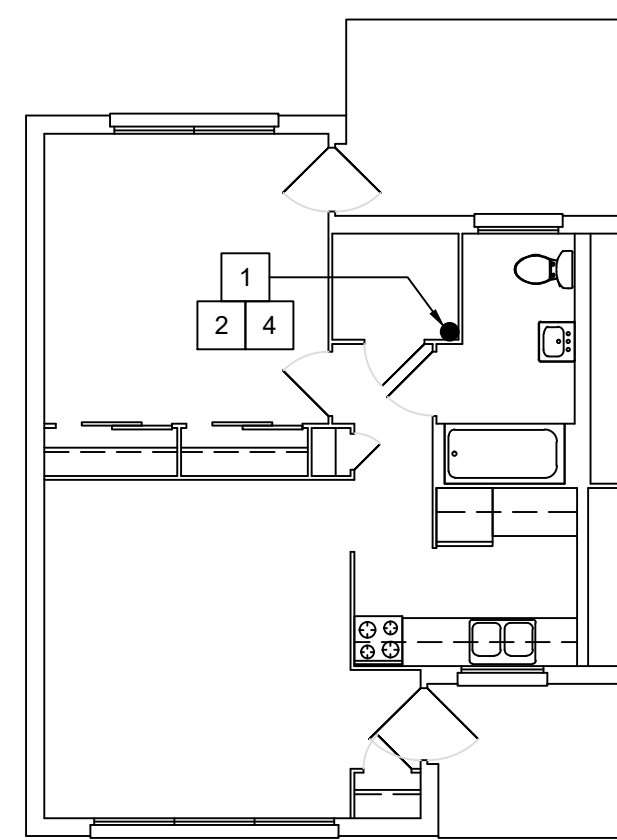
Sheet Title  
Limestone - Modena Plans

Sheet Number  
**A1.4**



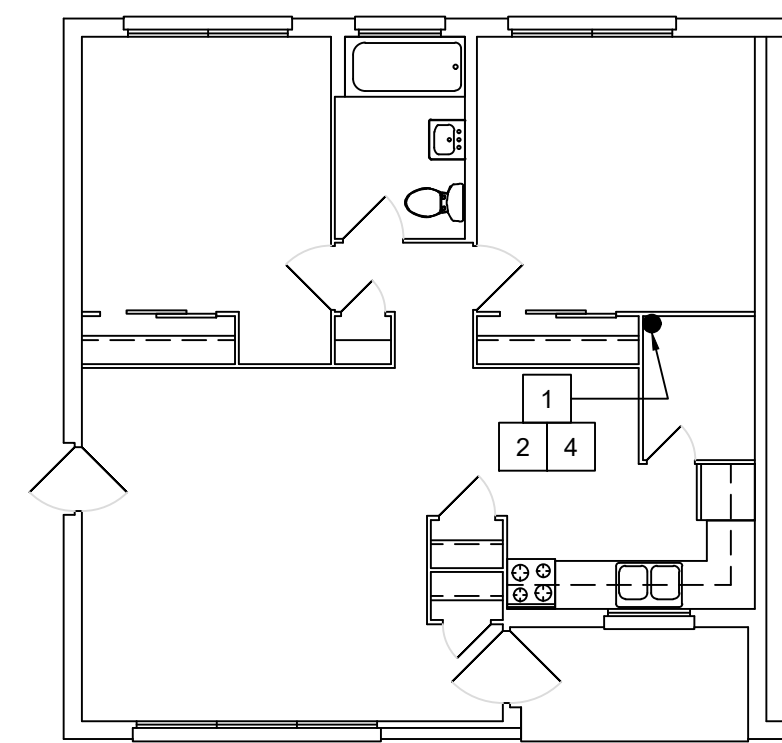
UNITS 3643 & 3645 MODENA ST.  
- 2 STORY TOWNHOUSE SLAB ON GRADE

UNIT 3629 LIMESTONE AVE.  
- 2 STORY TOWNHOUSE ON FULL BASEMENT



UNITS 208 JACKSON ST., 305 CASS ST.,  
314, 316, 318, 320, 322, & 324 PARK MANOR DR.  
- 1 STORY SLAB ON GRADE

**B** 1 BEDROOM UNIT  
FLOOR PLAN  
SCALE: 1/8" = 1'-0" 0 4 8 16 N

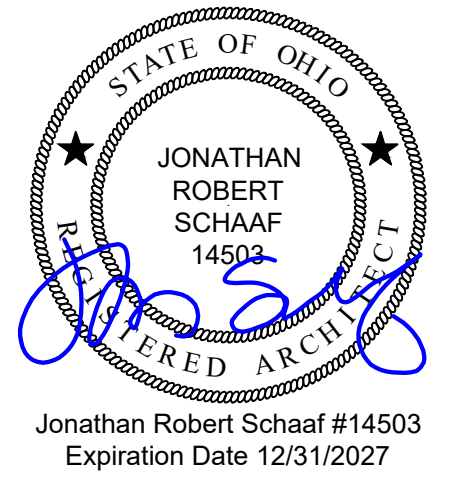


UNITS 323 & 337 JONES ST., 219 CASS ST.  
- 1 STORY SLAB ON GRADE

**C** 2 BEDROOM UNIT  
FLOOR PLAN  
SCALE: 1/8" = 1'-0" 0 4 8 16 N

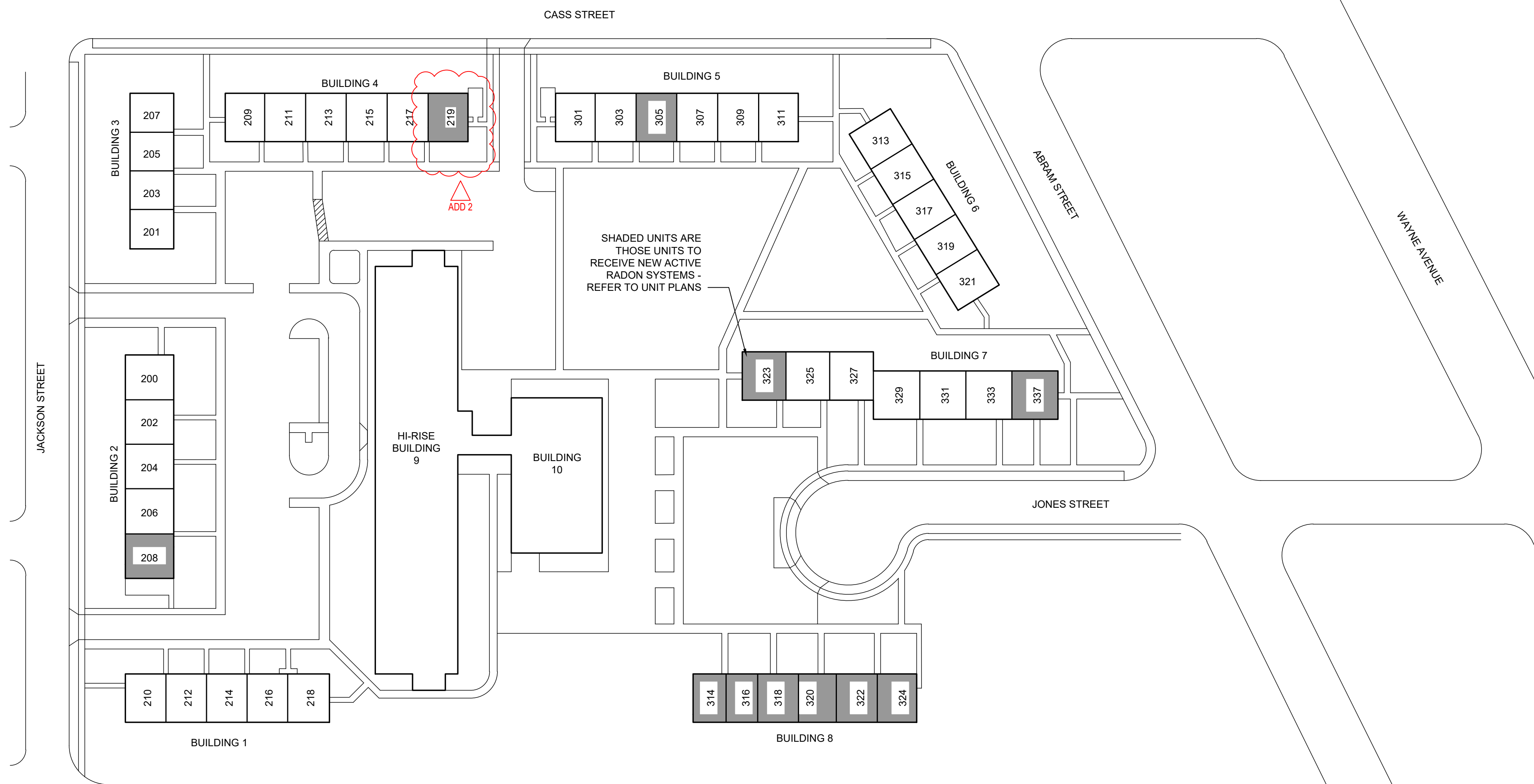
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  2. FRAME AROUND RADON SYSTEM W/ 1x FINISH TRIM [PAINTED]
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**A** PARK MANOR  
REFERENCE SITE PLAN  
SCALE: 1" = 50'-0" 0 25 50 100 N

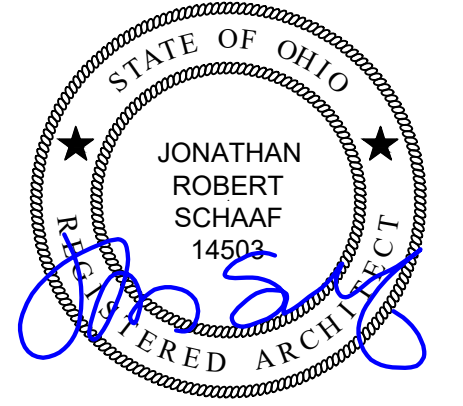
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October 27, 2025	
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10.27.25	Bid / Construction
04.28.26	Addendum 2

Sheet Title  
Park Manor Plans

Sheet Number  
**A1.6**

- # NEW CONSTRUCTION KEY NOTES
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  3. EXPOSED RADON PIPING IN UNFINISHED BASEMENT [PAINT EXPOSED PIPING GREEN & LABEL]
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  6. MODIFY EXISTING HANGING ROD AND SHELF AS REQUIRED.



Jonathan Robert SchAAF #14503  
Expiration Date 12/31/2027

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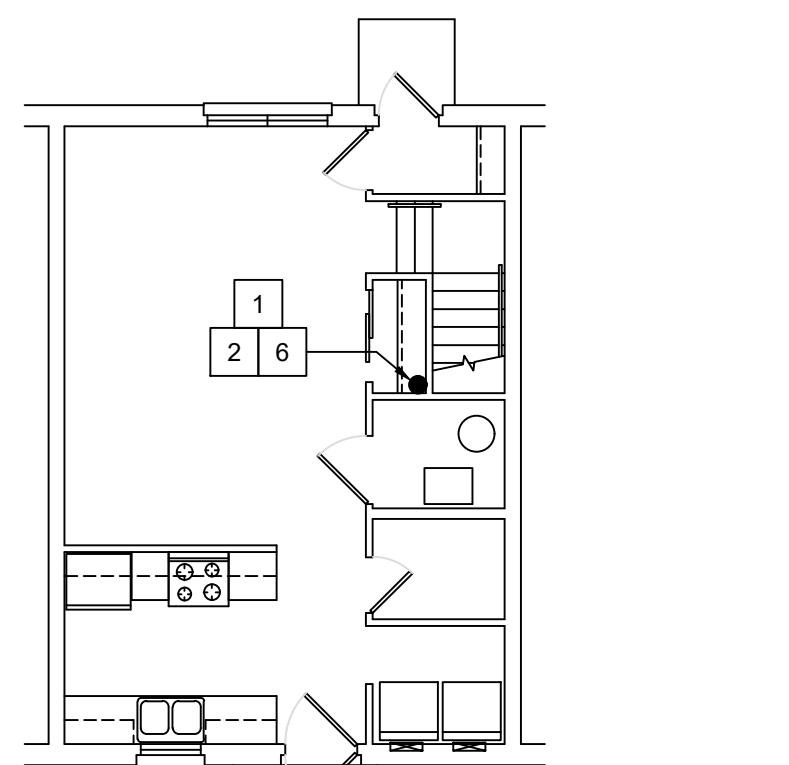
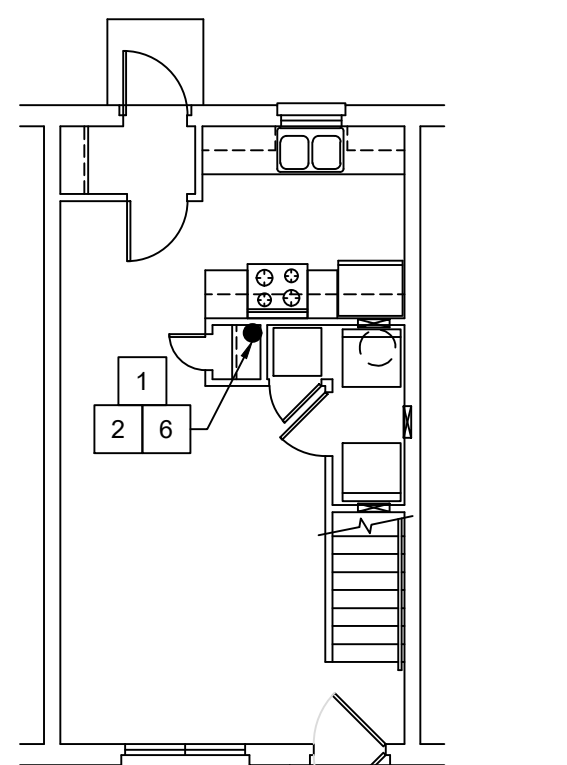
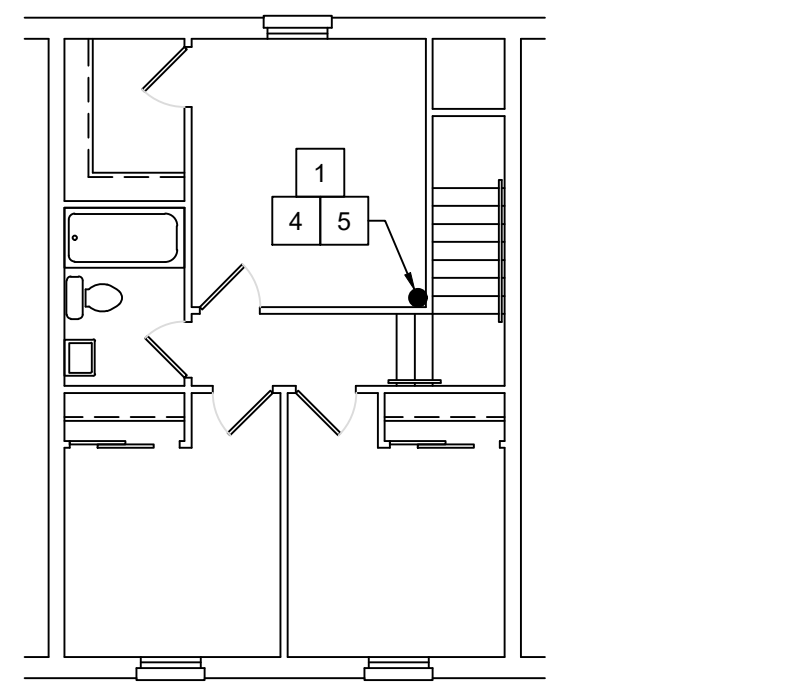
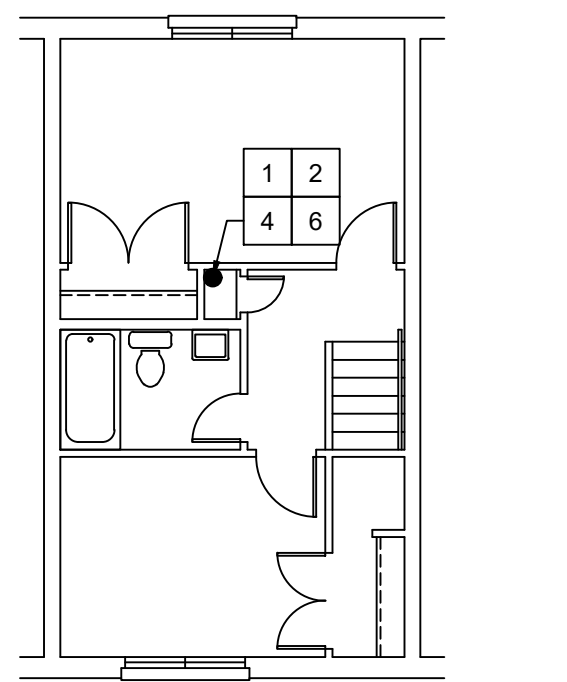
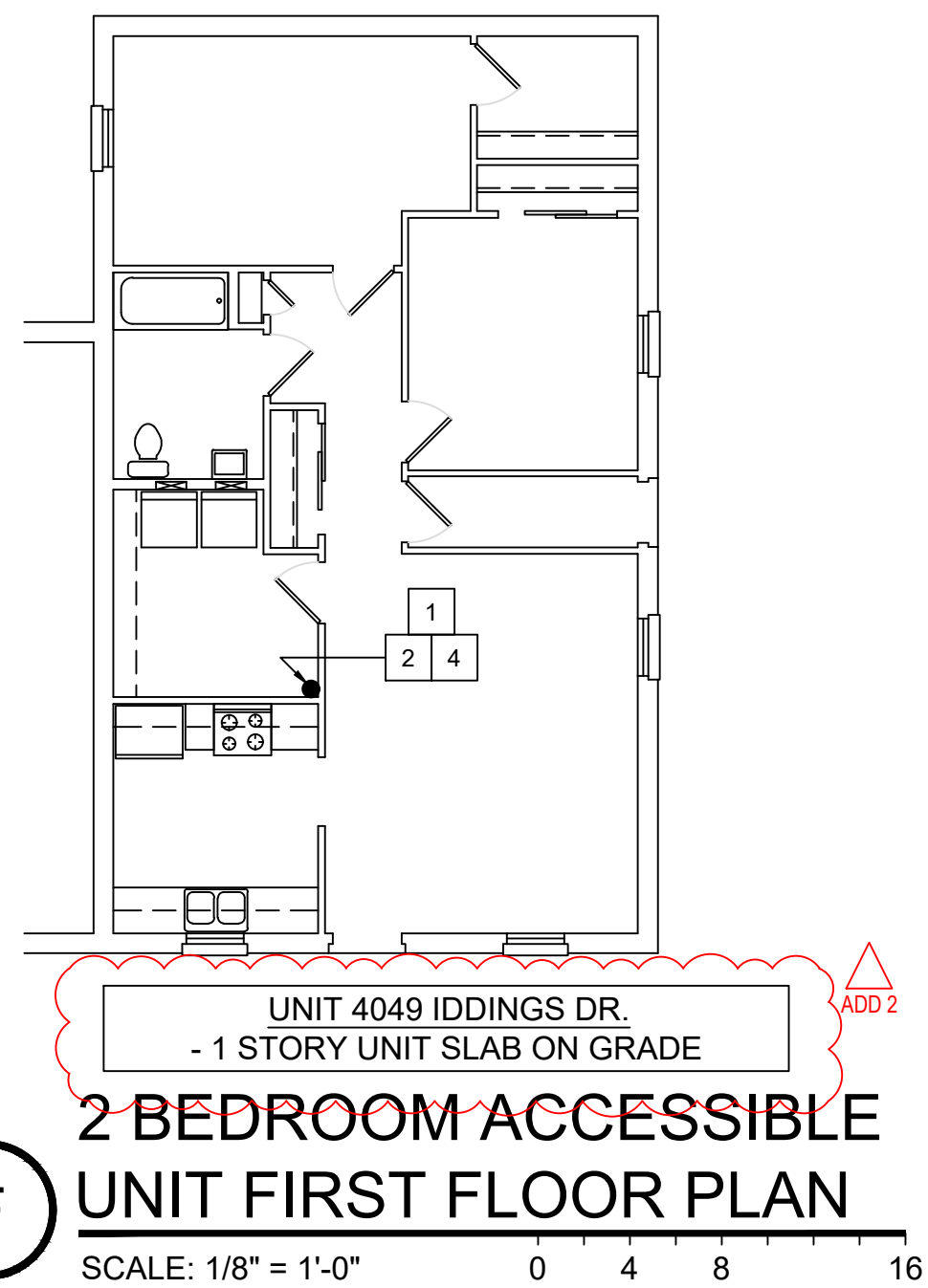


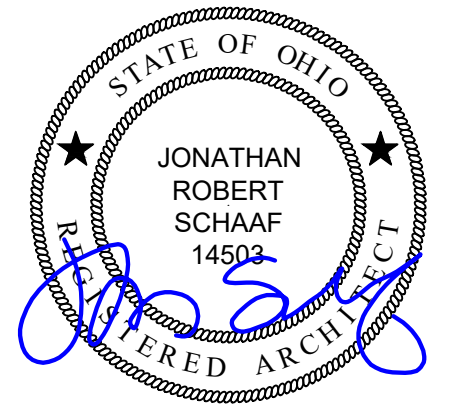
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Sheet Title  
Riverside Plans

Sheet Number  
**A1.7**





Jonathan Robert Schaaf #14503  
Expiration Date 12/31/2027

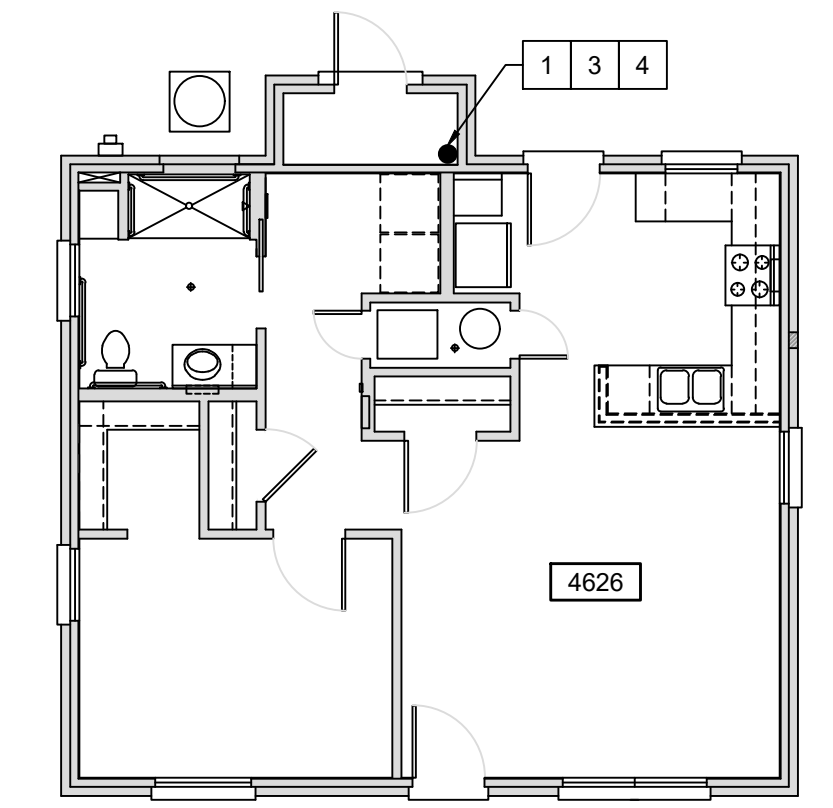
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# NEW CONSTRUCTION KEY NOTES

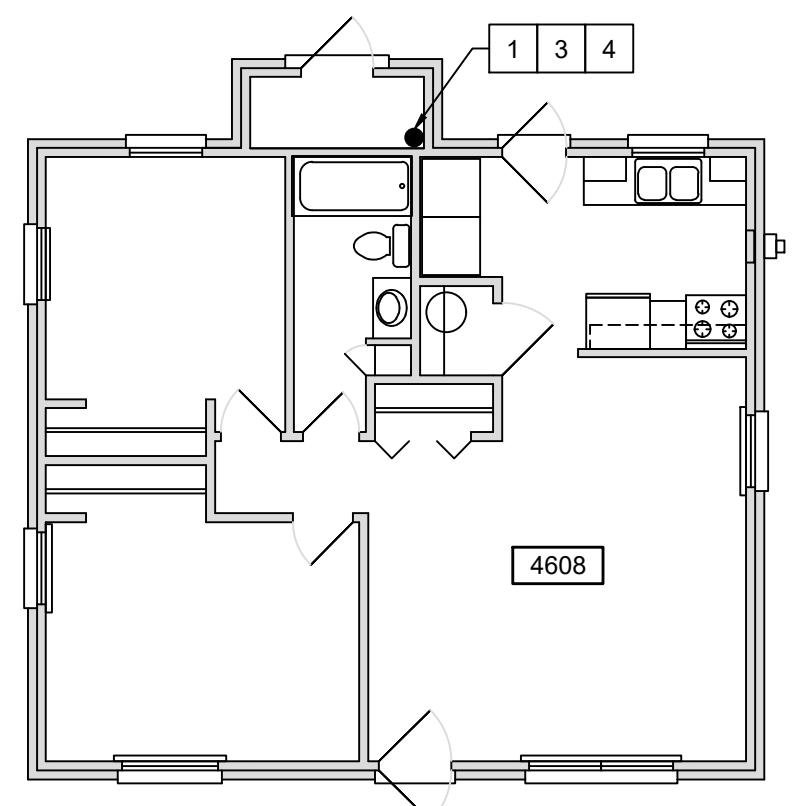
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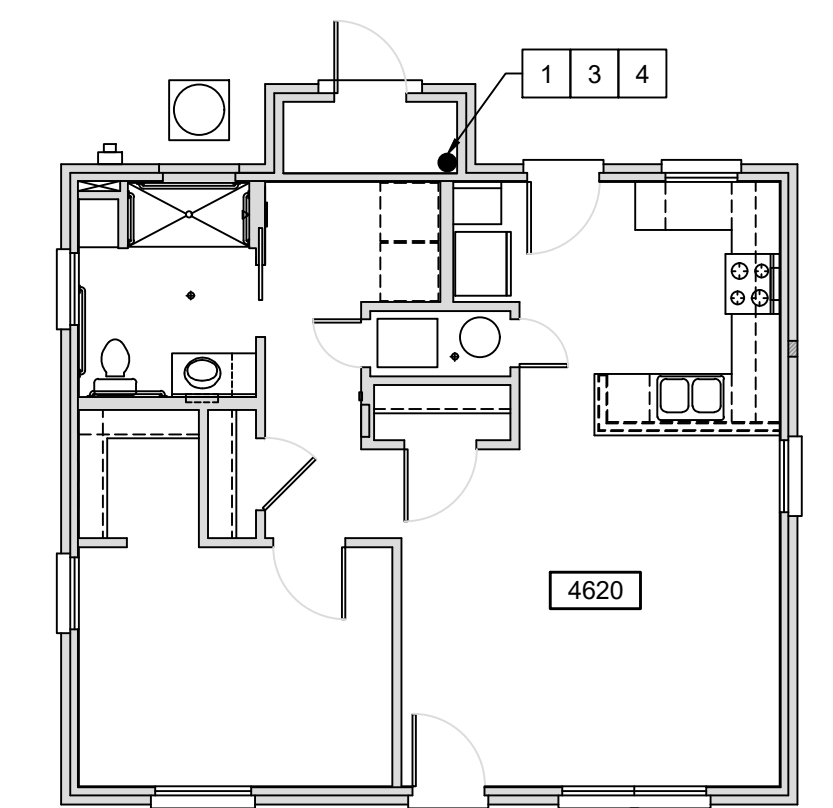
NOTE: SEAL RATED FLOOR / CEILING PENETRATIONS BETWEEN DWELLING UNITS IN ACCORDANCE WITH UL DETAILS.



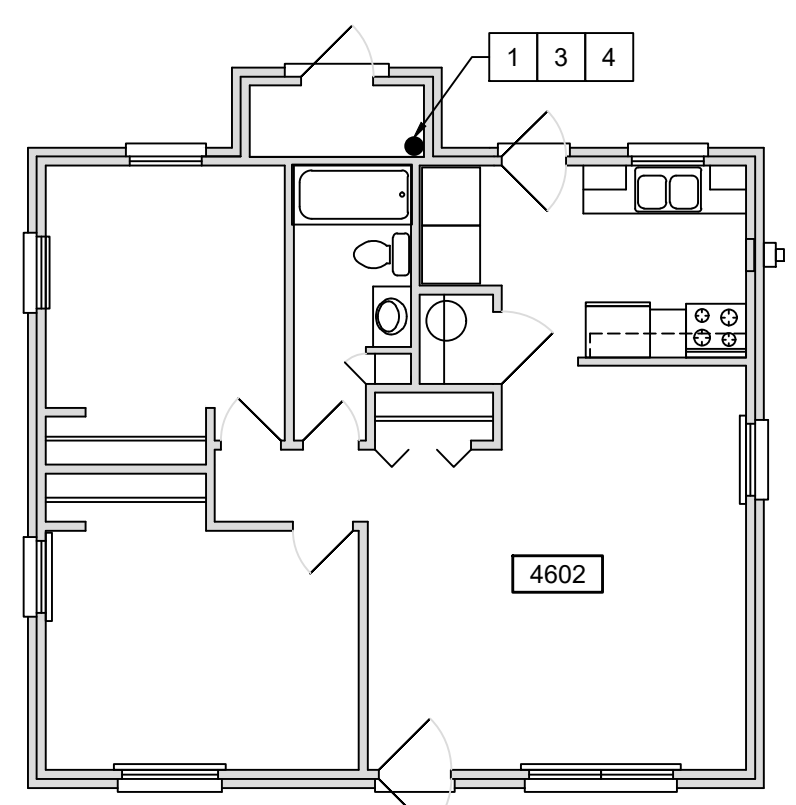
**F** 4626 FLOOR PLAN  
SCALE: 1/8" = 1'-0" 0 4 8 16 **N**



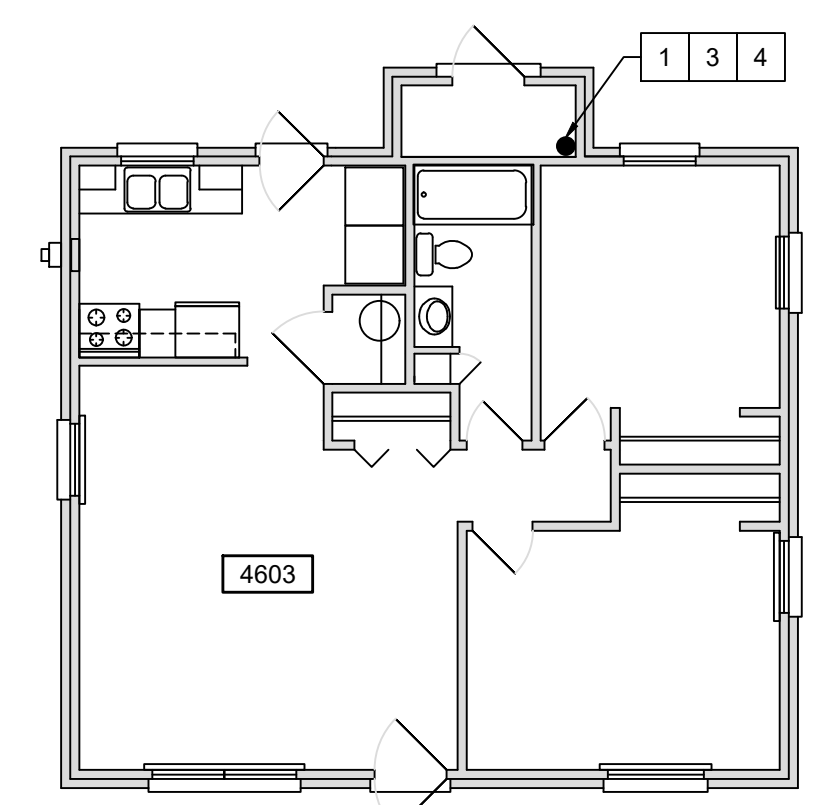
**D** 4608 FLOOR PLAN  
SCALE: 1/8" = 1'-0" 0 4 8 16 **N**



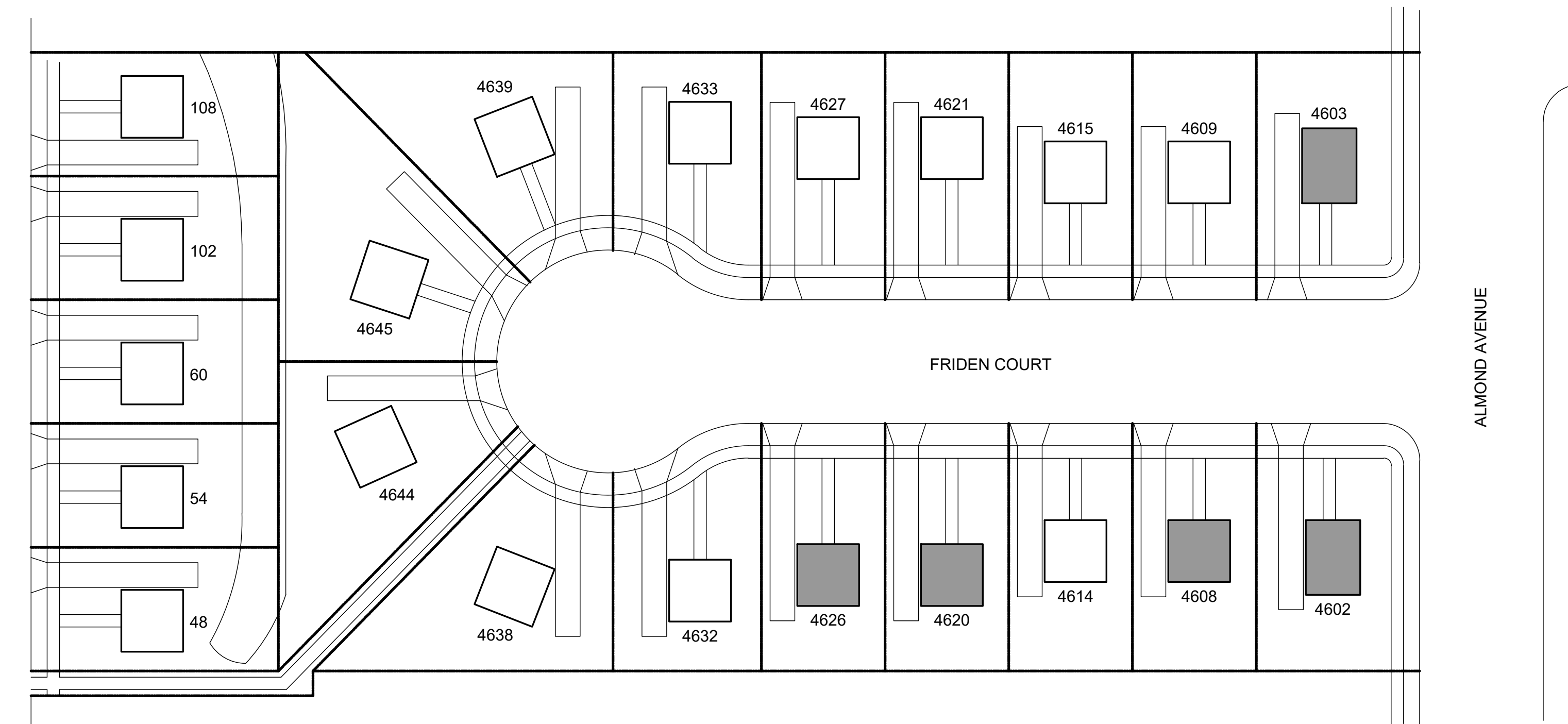
**E** 4620 FLOOR PLAN  
SCALE: 1/8" = 1'-0" 0 4 8 16 **N**



**B** 4602 FLOOR PLAN  
SCALE: 1/8" = 1'-0" 0 4 8 16 **N**



**C** 4603 FLOOR PLAN  
SCALE: 1/8" = 1'-0" 0 4 8 16 **N**



**A** FRIDEN - WHITMORE REFERENCE SITE PLAN  
SCALE: 1" = 40'-0" 0 20 40 80 **N**

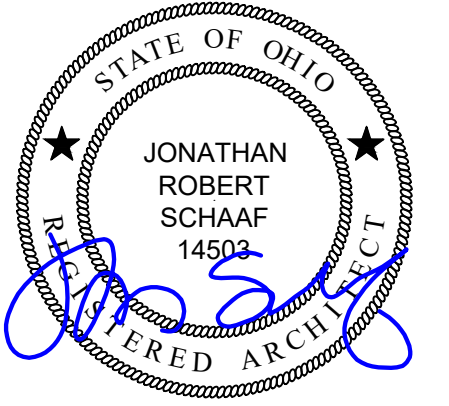
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Sheet Title  
Friden - Whitmore Plans

Sheet Number  
**A1.10**

- # NEW CONSTRUCTION KEY NOTES
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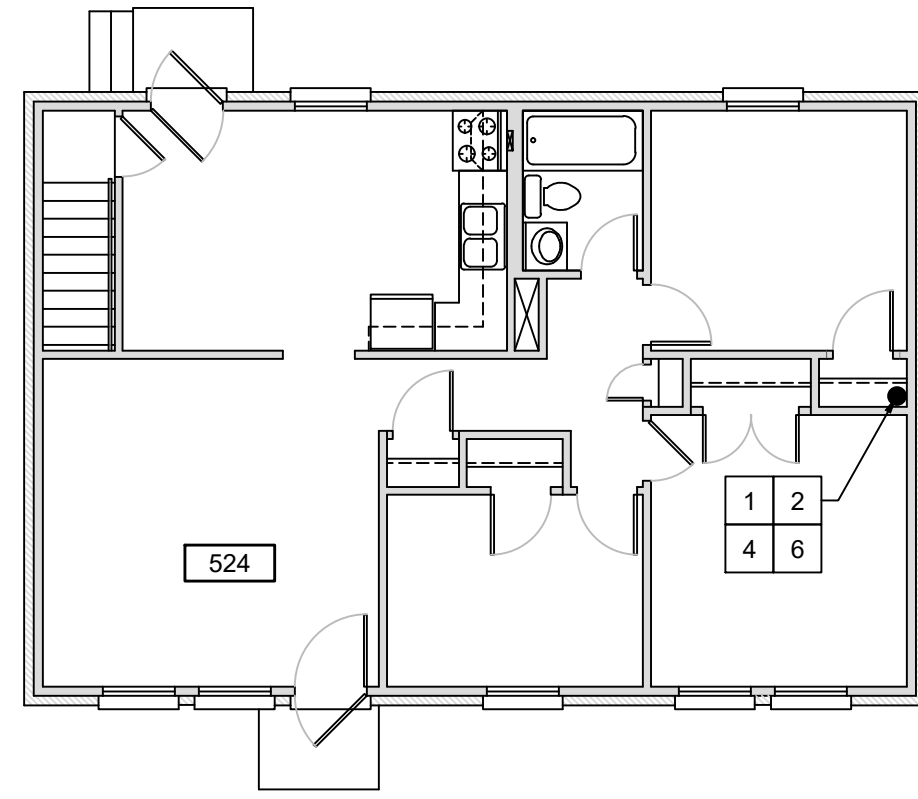
Jonathan Robert SchAAF #14503  
Expiration Date 12/31/2027

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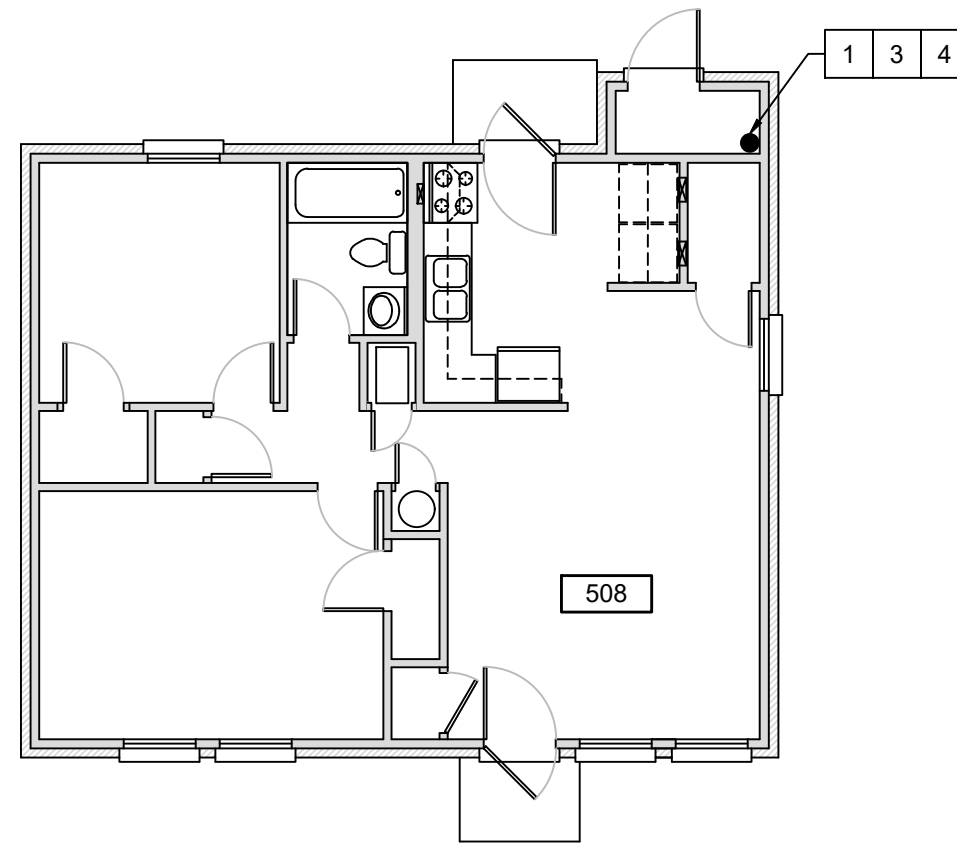
NOTE: SEAL RATED FLOOR / CEILING PENETRATIONS BETWEEN DWELLING UNITS IN ACCORDANCE WITH UL DETAILS.

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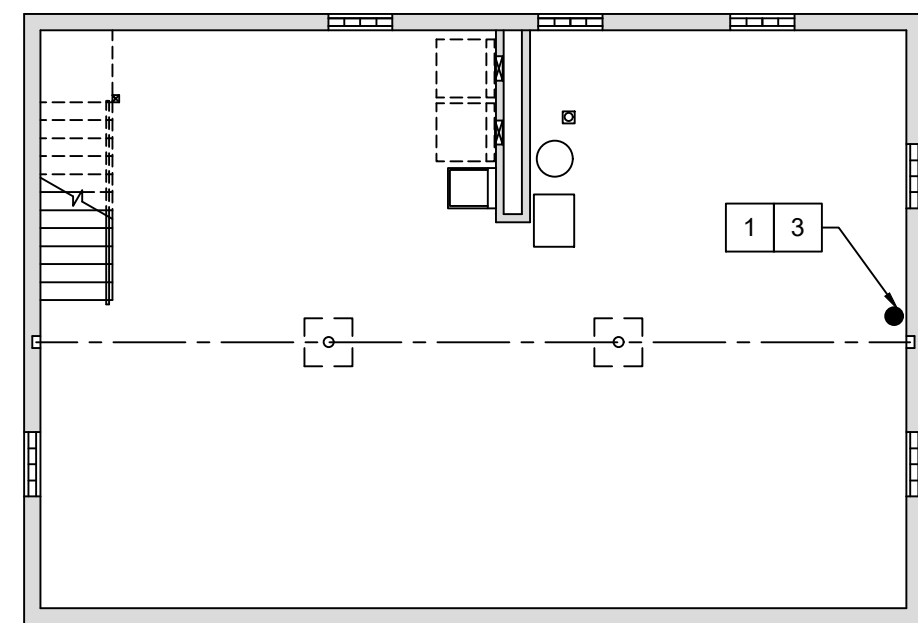
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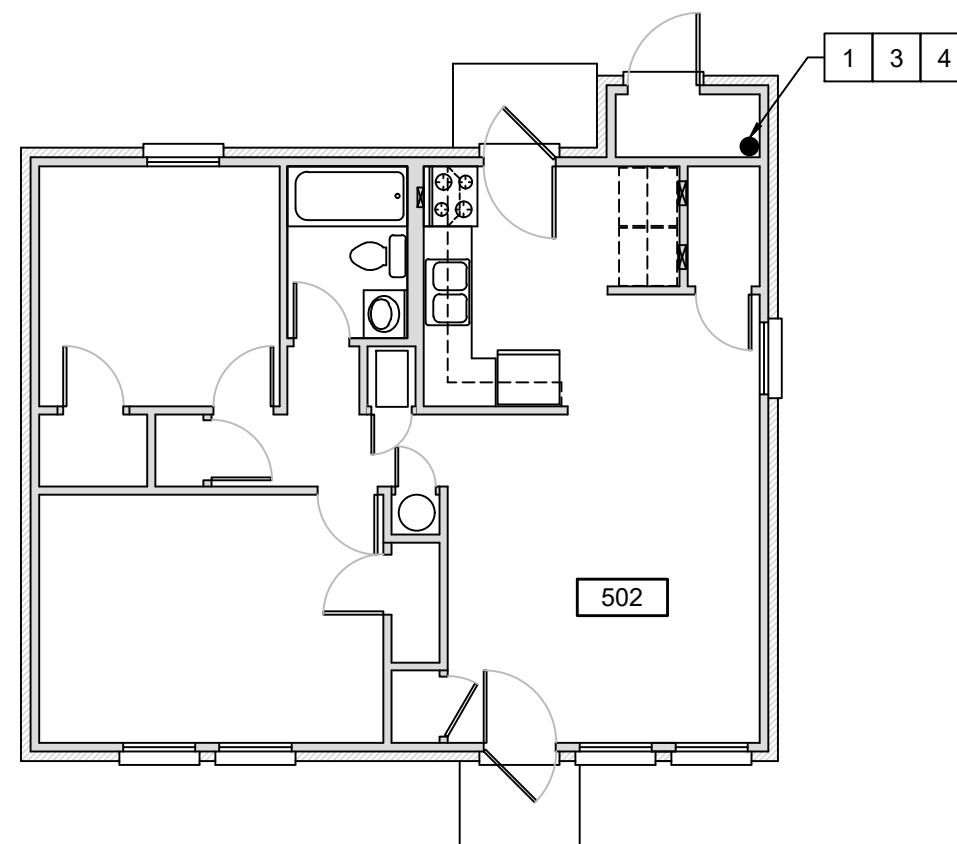
**F** 524  
**FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0" 0 4 8 16 N



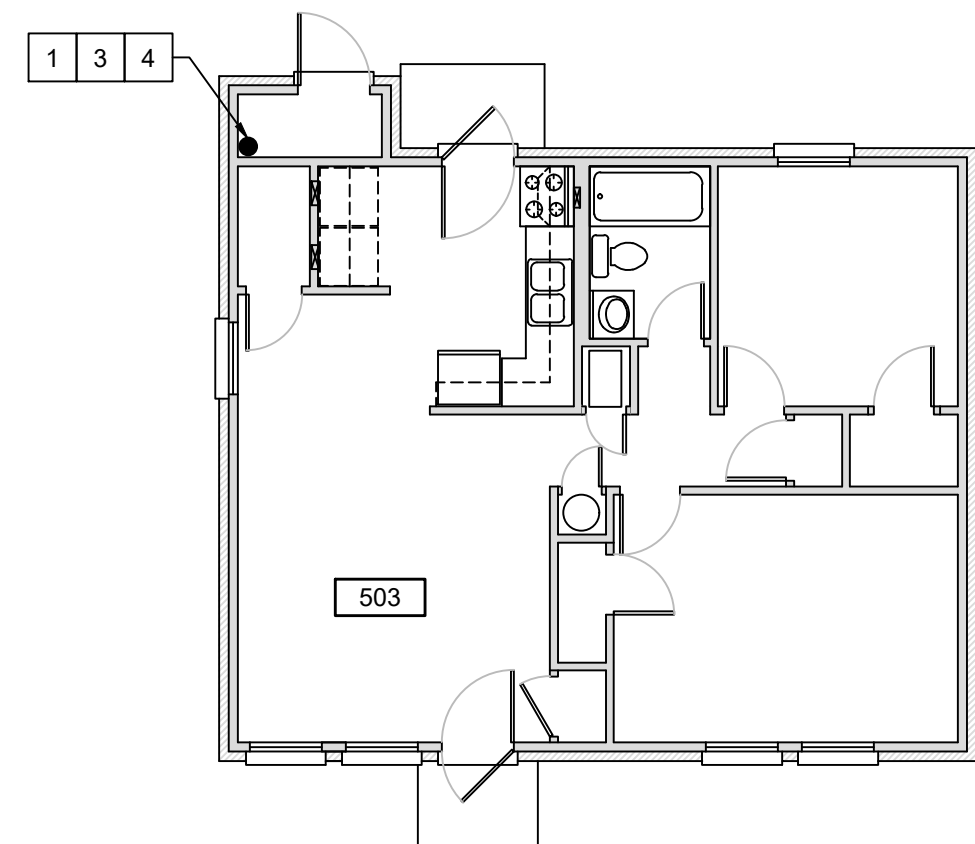
**D** 508  
**FLOOR PLAN**  
SCALE: 1/8" = 1'-0" 0 4 8 16 N



**E** 524  
**BASEMENT FLOOR PLAN**  
SCALE: 1/8" = 1'-0" 0 4 8 16 N



**B** 502  
**FLOOR PLAN**  
SCALE: 1/8" = 1'-0" 0 4 8 16 N



**C** 503  
**FLOOR PLAN**  
SCALE: 1/8" = 1'-0" 0 4 8 16 N



**A** MALDEN - HOLLENCAMP REFERENCE SITE PLAN  
SCALE: 1" = 60'-0" 0 30 60 120 N

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Date	Issue
10.01.25	80% Review
10.27.25	Bid / Construction
04.28.26	Addendum 2

Sheet Title  
Malden - Hollencamp Plans  
Sheet Number  
**A1.11**