

Fire Alarm System Upgrades for:

Westdale Hi-Rise (Site 01)

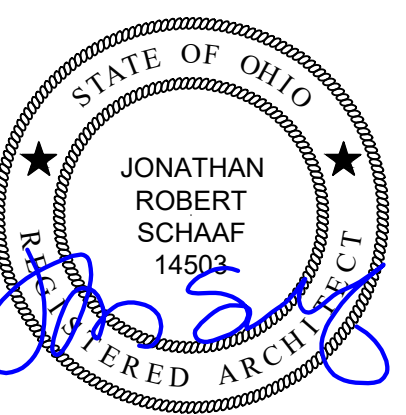
16 Melba St.
Dayton, Ohio 45402

Park Manor Hi-Rise (Site 02)

220 Park Manor Dr.
Dayton, Ohio 45410

Wilmington Hi-Rise (Site 03)

958 Wilmington Ave
Dayton, Ohio 45420



Jonathan Robert SchAAF #14503
Expiration Date 12/31/2025

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RDA GROUP ARCHITECTS
7662 PARAGON ROAD | DAYTON, OH 45459 | 937.610.3440



Fire Alarm System Upgrades for:
Westdale Hi Rise
Park Manor Hi Rise
Wilmington Hi Rise

OWNER



Greater Dayton
Premier Management
400 Wayne Ave.
Dayton, Ohio 45410

DESIGN TEAM

ARCHITECT:



PME ENGINEERING:

Helmig Lienesch LLC
Consulting Engineers

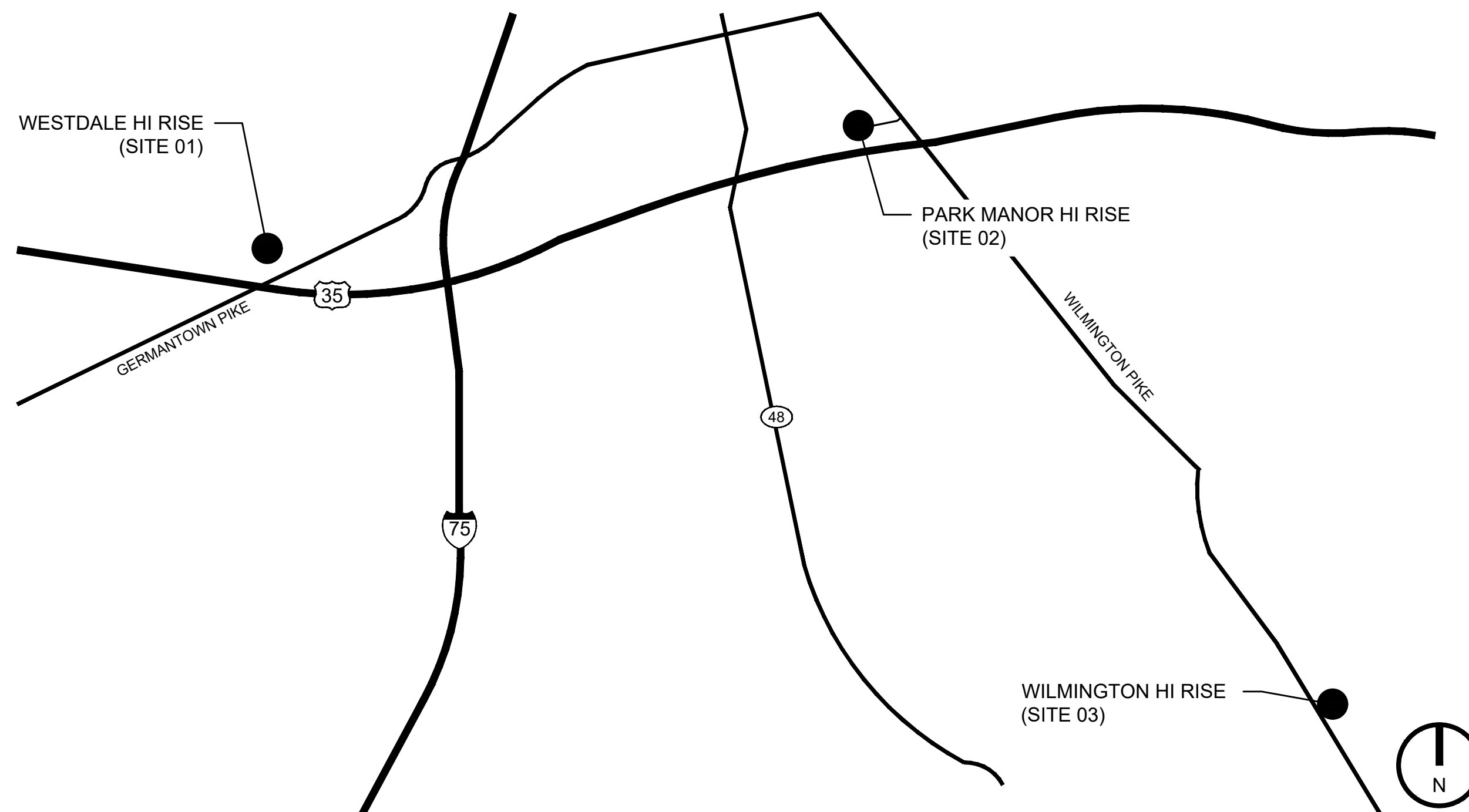
410 South Jefferson Street
Dayton, OH 45402

THE PLANS AND SPECIFICATIONS ARE INTENDED TO DEPICT THE GENERAL SCOPE, LAYOUT AND QUALITY OF WORKMANSHIP REQUIRED. THE DOCUMENTS ARE NOT AN INSTRUCTION MANUAL TO EXECUTE THE WORK NOR ARE THEY INTENDED TO SHOW OR DESCRIBE IN DETAIL EVERY ITEM NECESSARY FOR THE PROPER INSTALLATION OF THE WORK. THE MEANS AND METHODS REQUIRED TO EXECUTE THE WORK DESCRIBED IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL INCLUDE THE ANCILLARY WORK REQUIRED, WHETHER EXPLICITLY STATED OR NOT, FOR THE PROPER COMPLETION OF THE WORK AS INTENDED. THE CONTRACTOR IS REQUIRED TO MEET OR EXCEED BUILDING CODE REQUIREMENTS, APPLICABLE INDUSTRY STANDARDS, ASTM STANDARDS, AND/OR MANUFACTURER INSTALLATION REQUIREMENTS AS THEY RELATE TO THE WORK. THE PLANS AND SPECIFICATIONS REPRESENT A SINGLE COMPLETE DESIGN PACKAGE INDICATING THE INTENDED SCOPE OF THE PROJECT IN ITS ENTIRETY. AS SUCH, THE PROJECT IS STRUCTURED TO BE AWARDED TO A SINGLE PRIME CONTRACTOR. THE DOCUMENTS DO NOT DELINEATE BID PACKAGES OR ASSIGN RESPONSIBILITIES TO ANY SUBSEQUENT SUBCONTRACTORS, DICTATE CONSTRUCTION SEQUENCING, NOR PROVIDE COORDINATION BETWEEN ANY TRADES. SUCH ACTIVITIES ARE THE RESPONSIBILITY OF THE HOLDER OF THE CONSTRUCTION CONTRACT. IN THE EVENT OF A DISCREPANCY WITHIN THE DRAWINGS OR BETWEEN THE DRAWINGS AND THE SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT REPRESENTED IN THE DOCUMENTS SHALL PREVAIL.

EXISTING FIRE ALARM SYSTEM TO REMAIN ACTIVE - OWNER TO COORDINATE WITH VENDOR FOR ANY MODIFICATIONS THAT MAY BE REQUIRED AS A RESULT OF THE WORK IN THIS PERMIT - DELEGATED DESIGN BY OTHERS.

EXISTING FIRE SUPPRESSION / SPRINKLER SYSTEM TO REMAIN ACTIVE - OWNER TO COORDINATE WITH VENDOR FOR ANY MODIFICATIONS THAT MAY BE REQUIRED AS A RESULT OF THE WORK IN THIS PERMIT - DELEGATED DESIGN BY OTHERS.

VICINITY MAP



SHEET INDEX

G1.1	PROJECT INFORMATION
SITE 01 - WESTDALE HI RISE	
01-A1.1	FIRST / SECOND / THIRD FLOOR PLANS
01-A1.2	FOURTH / FIFTH / SIXTH FLOOR PLANS
01-A1.3	ROOF PLAN
01-E100	LEGEND
01-E101	FIRST FLOOR PLAN
01-E102	TYPICAL FLOOR PLAN
01-E103	ROOF PLAN / ELEVATOR PENTHOUSE

SITE 02 - PARK MANOR HI RISE	
02-A1.1	BASEMENT / FIRST FLOOR PLANS
02-A1.2	SECOND / THIRD / FOURTH FLOOR PLANS
02-A1.3	FIFTH / SIXTH / SEVENTH FLOOR PLANS
02-A1.4	EIGHTH FLOOR PLAN / ROOF PLAN
02-E100	LEGEND
02-E201	FIRST FLOOR EXISTING
02-E202	FIRST FLOOR REVISED
02-E204	ROOF PLAN

SITE 03 - WILMINGTON HI RISE	
03-A1.1	FIRST / SECOND FLOOR PLANS
03-A1.2	THIRD / FOURTH FLOOR PLANS
03-E100	LEGEND
03-E301	FIRST FLOOR EXISTING
03-E302	FIRST FLOOR REVISED
03-E303	SECOND FLOOR EXISTING
03-E304	SECOND FLOOR REVISED
03-E305	THIRD FLOOR EXISTING
03-E306	THIRD FLOOR REVISED
03-E307	FOURTH FLOOR EXISTING
03-E308	FOURTH FLOOR REVISED

WALL / SYMBOL LEGEND

#	EXISTING WALL TO REMAIN
1	NEW CONSTRUCTION KEY NOTE

CODE REVIEW

WESTDALE HI RISE (SITE 01)
DESCRIPTION:
REPLACEMENT OF EXISTING FIRE ALARM SYSTEM WITH A NEW FIRE ALARM SYSTEM. NO CHANGE IN BUILDING USE, OCCUPANCY, OR OTHER LIFE SAFETY COMPONENTS.

AUTHORITY HAVING JURISDICTION:
ZONING PERMIT - CITY OF DAYTON
BUILDING PERMIT - CITY OF DAYTON
FIRE DEPARTMENT - CITY OF DAYTON

ZONING CODE:
CITY OF DAYTON

BUILDING CODE:
2024 OHIO EXISTING BUILDING CODE [OIBC]
2024 OHIO BUILDING CODE [OBC]

CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION
310.4: USE GROUP R-2 [MULTI-FAMILY RESIDENTIAL WITH SHARED EGRESS]
NO CHANGE IN USE

CHAPTER 4: SPECIAL DETAILED REQUIREMENTS BASED ON USE / OCCUPANCY
403.1: HIGH-RISE BUILDING - NOT APPLICABLE. HIGHEST FLOOR LESS THAN 75' ABOVE LOWEST LEVEL OF FIRE DEPARTMENT ACCESS.
420.2: SEPARATION WALLS - CONSTRUCT AS FIRE PARTITIONS PER OBC 708 [MAINTAIN EXISTING]
420.3: HORIZONTAL SEPARATION - CONSTRUCT AS HORIZONTAL ASSEMBLIES, PER OBC 711 [MAINTAIN EXISTING]

CHAPTER 5: GENERAL BUILDING HEIGHT AND AREA
NO CHANGE IN BUILDING HEIGHT, STORIES, OR AREA
EXISTING BUILDING HEIGHT = 60'
EXISTING STORIES = 6 STORIES
EXISTING AREA / FLOOR = 8,130 SF

CHAPTER 6: TYPES OF CONSTRUCTION
TABLE 601:
PRIMARY STRUCTURAL FRAME = 2 HOUR
EXTERIOR BEARING WALLS = 2 HOUR
INTERIOR BEARING WALLS = 2 HOUR
NON-BEARING WALLS = 0 HOUR
FLOOR CONSTRUCTION = 2 HOUR
ROOF CONSTRUCTION = 1 HOUR

602.2: CONSTRUCTION TYPE: I B [NON-COMBUSTIBLE]

CHAPTER 7: FIRE-RESISTANCE RATED CONSTRUCTION
708.3: FIRE PARTITIONS - 1 HOUR RATING REQUIRED
711.2.4.3: HORIZONTAL ASSEMBLIES - 1 HOUR RATING REQUIRED
714.3: THRU PENETRATION IN FIRE RESISTANCE RATED WALLS - MAINTAIN RATING.
714.4: THRU PENETRATION IN FIRE RESISTANCE RATED HORIZONTAL ASSEMBLIES - MAINTAIN RATING.

CHAPTER 8: INTERIOR FINISHES
803.1.1: INTERIOR WALL AND CEILING FINISH MATERIALS
CLASS A = FLAME SPREAD INDEX 0-25, SMOKE DEVELOPED INDEX 0-450
CLASS B = FLAME SPREAD INDEX 26-75, SMOKE DEVELOPED INDEX 0-450
CLASS C = FLAME SPREAD INDEX 76-200, SMOKE DEVELOPED INDEX 0-450

TABLE 803.11: INTERIOR WALL AND CEILING FINISH REQUIREMENTS
USE: R-2
EXIT ENCLOSURES AND PASSAGEWAYS: CLASS C
CORRIDORS: CLASS C
ROOMS AND ENCLOSED SPACES: CLASS C

CHAPTER 9: FIRE PROTECTION SYSTEMS
903.2.8: USE GROUP R: AUTOMATIC FIRE SPRINKLER SYSTEM REQUIRED - PROVIDED - EXISTING SPRINKLER SYSTEM. NO CHANGES AS PART OF THIS PROJECT.
905.1: STANDPIPE SYSTEM - REQUIRED, PROVIDED, NO CHANGES AS PART OF THIS PROJECT.
907.2.9: FIRE ALARM SYSTEM - REQUIRED, PROVIDED [REPLACEMENT OF EXISTING SYSTEM TO MEET CURRENT REQUIREMENTS]

CHAPTER 10: MEANS OF EGRESS
NO CHANGE IN BUILDING MEANS OF EGRESS, EGRESS DOORS, TRAVEL DISTANCE, ETC. [2] EXITS PER FLOOR PROVIDED. EACH DWELLING UNIT HAS ACCESS TO [2] INDEPENDENT EXITS.

CHAPTER 11: ACCESSIBILITY
NO CHANGES AS PART OF THIS PROJECT.

PARK MANOR HI RISE (SITE 02)

DESCRIPTION:
REPLACEMENT OF EXISTING FIRE ALARM SYSTEM WITH A NEW FIRE ALARM SYSTEM. NO CHANGE IN BUILDING USE, OCCUPANCY, OR OTHER LIFE SAFETY COMPONENTS.

AUTHORITY HAVING JURISDICTION:
ZONING PERMIT - CITY OF DAYTON
BUILDING PERMIT - CITY OF DAYTON
FIRE DEPARTMENT - CITY OF DAYTON

ZONING CODE:
CITY OF DAYTON

BUILDING CODE:
2024 OHIO EXISTING BUILDING CODE [OIBC]
2024 OHIO BUILDING CODE [OBC]

CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION
310.4: USE GROUP R-2 [MULTI-FAMILY RESIDENTIAL WITH SHARED EGRESS]
NO CHANGE IN USE

CHAPTER 4: SPECIAL DETAILED REQUIREMENTS BASED ON USE / OCCUPANCY
403.1: HIGH-RISE BUILDING - APPLICABLE. HIGHEST FLOOR EXCEEDS 75' ABOVE LOWEST LEVEL OF FIRE DEPARTMENT ACCESS.
420.2: SEPARATION WALLS - CONSTRUCT AS FIRE PARTITIONS PER OBC 708 [MAINTAIN EXISTING]
420.3: HORIZONTAL SEPARATION - CONSTRUCT AS HORIZONTAL ASSEMBLIES, PER OBC 711 [MAINTAIN EXISTING]

CHAPTER 5: GENERAL BUILDING HEIGHT AND AREA
NO CHANGE IN BUILDING HEIGHT, STORIES, OR AREA
EXISTING BUILDING HEIGHT = 80'
EXISTING STORIES = 6 STORIES
EXISTING AREA 1ST FLOOR = 20, 267 SF
EXISTING AREA 2ND THRU 8TH FLOOR = 14,368 SF

CHAPTER 6: TYPES OF CONSTRUCTION
TABLE 601:
PRIMARY STRUCTURAL FRAME = 2 HOUR
EXTERIOR BEARING WALLS = 2 HOUR
INTERIOR BEARING WALLS = 2 HOUR
NON-BEARING WALLS = 0 HOUR
FLOOR CONSTRUCTION = 2 HOUR
ROOF CONSTRUCTION = 1 HOUR

602.2: CONSTRUCTION TYPE: I B [NON-COMBUSTIBLE]

CHAPTER 7: FIRE-RESISTANCE RATED CONSTRUCTION
708.3: FIRE PARTITIONS - 1 HOUR RATING REQUIRED
711.2.4.3: HORIZONTAL ASSEMBLIES - 1 HOUR RATING REQUIRED
714.3: THRU PENETRATION IN FIRE RESISTANCE RATED WALLS - MAINTAIN RATING.
714.4: THRU PENETRATION IN FIRE RESISTANCE RATED HORIZONTAL ASSEMBLIES - MAINTAIN RATING.

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803.1.1: INTERIOR WALL AND CEILING FINISH MATERIALS
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CLASS C = FLAME SPREAD INDEX 76-200, SMOKE DEVELOPED INDEX 0-450

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ROOMS AND ENCLOSED SPACES: CLASS C

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905.1: STANDPIPE SYSTEM - REQUIRED, PROVIDED, NO CHANGES AS PART OF THIS PROJECT.
907.2.9: FIRE ALARM SYSTEM - REQUIRED, PROVIDED [REPLACEMENT OF EXISTING SYSTEM TO MEET CURRENT REQUIREMENTS]

CHAPTER 10: MEANS OF EGRESS
NO CHANGE IN BUILDING MEANS OF EGRESS, EGRESS DOORS, TRAVEL DISTANCE, ETC. [2] EXITS PER FLOOR PROVIDED. EACH DWELLING UNIT HAS ACCESS TO [2] INDEPENDENT EXITS.

CHAPTER 11: ACCESSIBILITY
NO CHANGES AS PART OF THIS PROJECT.

WILMINGTON HI RISE (SITE 03)

DESCRIPTION:
REPLACEMENT OF EXISTING FIRE ALARM SYSTEM WITH A NEW FIRE ALARM SYSTEM. NO CHANGE IN BUILDING USE, OCCUPANCY, OR OTHER LIFE SAFETY COMPONENTS.

AUTHORITY HAVING JURISDICTION:
ZONING PERMIT - CITY OF DAYTON
BUILDING PERMIT - CITY OF DAYTON
FIRE DEPARTMENT - CITY OF DAYTON

ZONING CODE:
CITY OF DAYTON

BUILDING CODE:
2024 OHIO EXISTING BUILDING CODE [OIBC]
2024 OHIO BUILDING CODE [OBC]

CHAPTER 3: USE AND OCCUPANCY CLASSIFICATION
310.4: USE GROUP R-2 [MULTI-FAMILY RESIDENTIAL WITH SHARED EGRESS]
NO CHANGE IN USE

CHAPTER 4: SPECIAL DETAILED REQUIREMENTS BASED ON USE / OCCUPANCY
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420.2: SEPARATION WALLS - CONSTRUCT AS FIRE PARTITIONS PER OBC 708 [MAINTAIN EXISTING]
420.3: HORIZONTAL SEPARATION - CONSTRUCT AS HORIZONTAL ASSEMBLIES, PER OBC 711 [MAINTAIN EXISTING]

CHAPTER 5: GENERAL BUILDING HEIGHT AND AREA
NO CHANGE IN BUILDING HEIGHT, STORIES, OR AREA
EXISTING BUILDING HEIGHT = 40'
EXISTING STORIES = 4 STORIES
EXISTING AREA / FLOOR = 15,072 SF

CHAPTER 6: TYPES OF CONSTRUCTION
TABLE 601:
PRIMARY STRUCTURAL FRAME = 0 HOUR
EXTERIOR BEARING WALLS = 2 HOUR
INTERIOR BEARING WALLS = 0 HOUR
NON-BEARING WALLS = 0 HOUR
FLOOR CONSTRUCTION = 0 HOUR
ROOF CONSTRUCTION = 0 HOUR

602.2: CONSTRUCTION TYPE: III B [NON-COMBUSTIBLE]

CHAPTER 7: FIRE-RESISTANCE RATED CONSTRUCTION
708.3: FIRE PARTITIONS - 1 HOUR RATING REQUIRED
711.2.4.3: HORIZONTAL ASSEMBLIES - 1 HOUR RATING REQUIRED
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905.1: STANDPIPE SYSTEM - REQUIRED, PROVIDED, NO CHANGES AS PART OF THIS PROJECT.
907.2.9: FIRE ALARM SYSTEM - REQUIRED, PROVIDED [REPLACEMENT OF EXISTING SYSTEM TO MEET CURRENT REQUIREMENTS]

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CHAPTER 11: ACCESSIBILITY
NO CHANGES AS PART OF THIS PROJECT.

ABBREVIATIONS

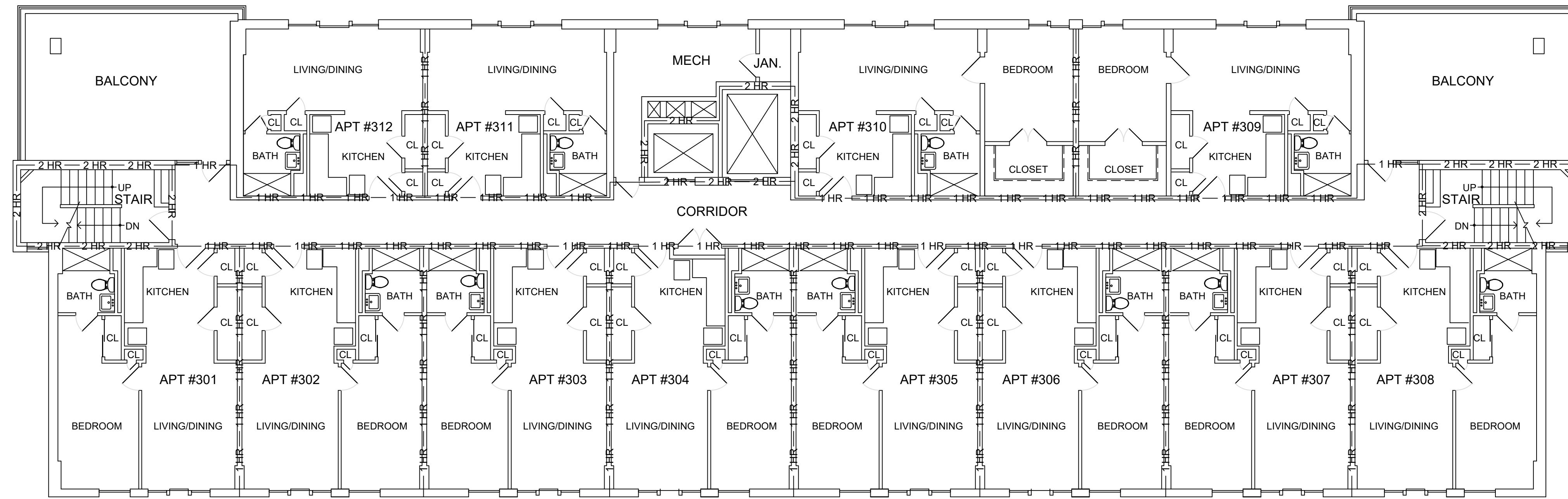
ADAAG	AMERICANS WITH DISABILITIES ACT
ACCESSIBILITY	ACCESSIBILITY GUIDELINES
AFF	ABOVE FINISH FLOOR
ALUM	ALUMINUM
ATC	ACOUSTIC TILE CEILING
BLKG	BLOCKING
BET	BETWEEN
BRG	BEARING
BTM	BOTTOM
CIP	CAST IN PLACE
CL	CENTERLINE
CLG	CEILING
CT	CERAMIC TILE
CLR	CLEAR
COL	COLUMN
CPT	CARPET
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
CONT	CONTINUOUS
CJ	CONTROL JOINT
DF	DRINKING FOUNTAIN
DIA	DIAMETER
DS	DOWNSPOUT
DTL	DETAIL
DW	DISHWASHER
ELEV	ELEVATION
EQ	EQUAL
EX	EXISTING
FD	FLOOR DRAIN
FM	FOUNDATION
FE	FIRE EXTINGUISHER
FF	FINISH FLOOR
FIN	FINISHED
FRT	FIRE RETARDANT TREATED
FSE	FOOD SERVICE EQUIPMENT
FTG	FOOTING
FV	FIELD VERIFY
GB	GYPSUM BOARD
GC	GENERAL CONTRACTOR
NM	HOLLOW METAL
HT	HEIGHT
HOR	HORIZONTAL
MAX	MAXIMUM
MECH	MECHANICAL
MO	MASONRY OPENING
MTD	MOUNTED
MTL	METAL
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
OPG	OPENING
PEMB	PRE-ENGINEERED METAL BUILDING
PTD	PAINTED
QT	QUARRY TILE
RAD	RADIUS
RD	ROOF DRAIN
REF	REFRIGERATOR
REQ'D	REQUIRED
RO	ROUGH OPENING
SIM	SIMILAR
SM	SHEET METAL
SPEC	SPECIFICATION
SS	STAINLESS STEEL
SQ	SQUARE
STL	STEEL
T.O.	TOP OF
TYP	TYPICAL
UFAS	UNIFORM FEDERAL ACCESSIBILITY STD.
WRB	WEATHER RESISTIVE BARRIER
WWF	WELDED WIRE FABRIC

AS PART OF THIS PROJECT, THE FIRE ALARM DESIGNER TO PREPARE FIRE ALARM SYSTEM SHOP DRAWINGS IN ACCORDANCE WITH OBC 907. SUBMIT THESE DOCUMENTS TO THE AUTHORITY HAVING JURISDICTION FOR PLAN APPROVAL. PROVIDE ALL REQUIRED COORDINATION AND SUPPLEMENTAL INFORMATION REQUIRED TO OBTAIN PLAN APPROVAL.

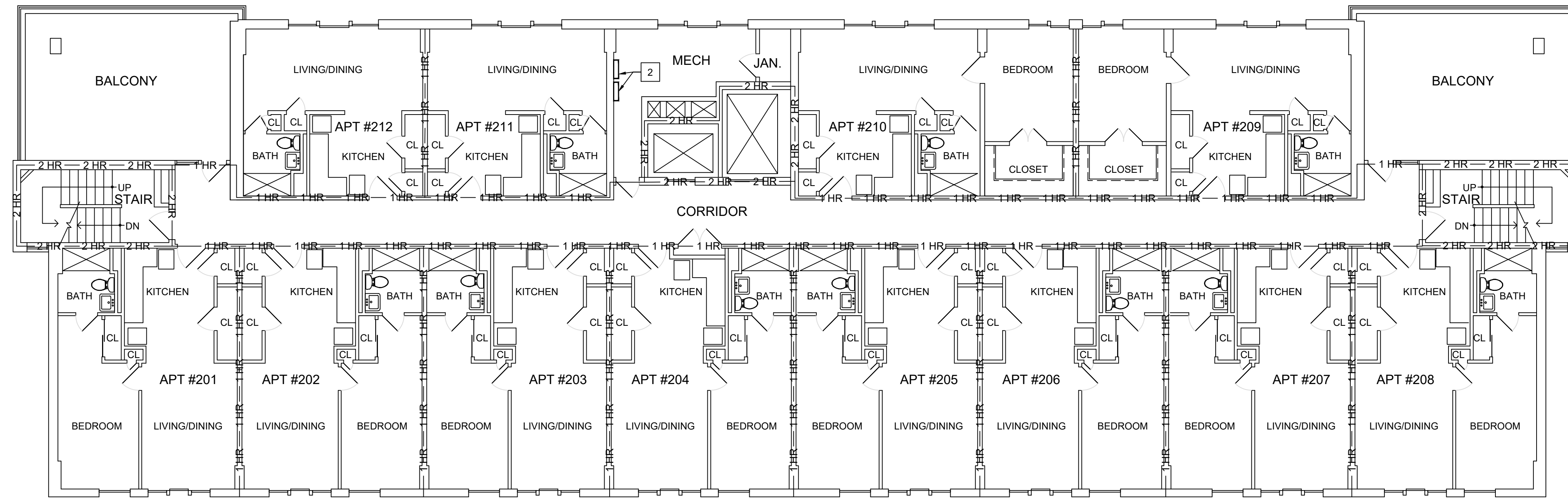
Project Number	
2024-106	
Date	
May 16, 2025	
Date	Issue
10.15.24	As-builts
12.17.24	50% Set
03.19.25	Review
03.31.25	CD Review
05.16.25	Bid Set

Sheet Title
Project Information

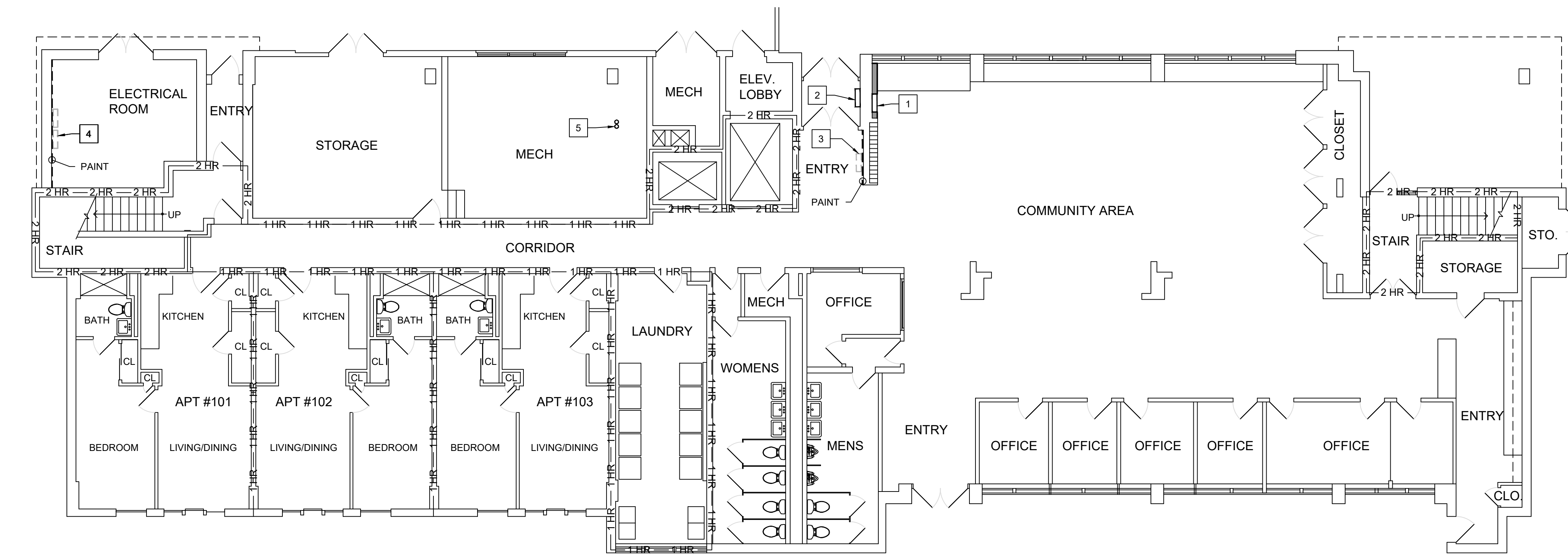
Sheet Number
G1.1



C THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"



B SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"



A FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

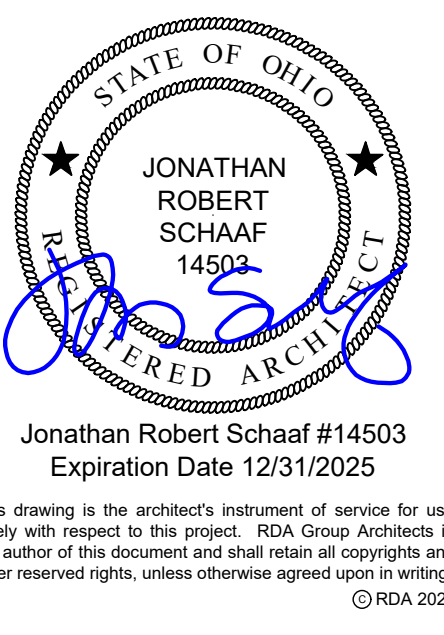
NEW CONSTRUCTION KEY NOTES

1. LOCATION OF NEW FIRE ALARM CONTROL PANEL, G.C. TO FUR OUT WALL FOR THE INSTALLATION OF NEW FIRE ALARM CONTROL PANEL WITH 6" METAL STUD WALL @ 16" O.C. AND (1) LAYER OF 5/8" GYPSUM BOARD EXTENDED FULL HEIGHT. PAINT NEW WALL FLOOR TO CEILING AND INSTALL BASE TO MATCH EXISTING FINISHES. REFER TO ELECTRICAL DRAWINGS.
2. LOCATION OF NEW FIRE ALARM EQUIPMENT, REFER TO ELECTRICAL DRAWINGS.
3. REMOVE EXISTING EQUIPMENT, REPAIR GYPSUM BOARD & PAINT WALL CORNER TO CORNER, FLOOR TO CEILING TO MATCH EXISTING FINISHES.
4. REMOVE EXISTING FIRE EQUIPMENT AT THIS WALL. REMOVE EXISTING PATCH CMU WALL. PATCH CMU WALL AND ADJACENT BRICK WALL. PAINT CMU WALL CORNER TO CORNER AND FLOOR TO CEILING TO MATCH EXISTING FINISHES.
5. RUN NEW RISER CONDUIT TIGHT TO CEILING. CORE DRILL CEILING TO RUN CONDUIT TO FIRE ALARM EQUIPMENT ON SECOND FLOOR. PATCH AND REPAIR CEILING TO MATCH EXISTING CONDITIONS AS REQUIRED. REFER TO ELECTRICAL DRAWINGS.

SCOPE OF WORK

1. REMOVE EXISTING CONDUITS, BOXES, DEVICES, & EQUIPMENT OF EXISTING FIRE ALARM SYSTEM BEING REMOVED COMPLETE AFTER INSTALLATION OF NEW FIRE ALARM SYSTEM. FIELD VERIFY CONDITIONS, ROUTING, & EXACT SCOPE OF REMOVAL. REFER TO ELECTRICAL DRAWINGS FOR LOCATION OF DEVICES.
2. PATCH & PREP ALL HOLES / OPENINGS AFTER THE REMOVAL OF EXISTING FIRE ALARM SYSTEM AND COMPONENTS FOR LIKE NEW CONDITION.
3. PATCH & PREP GYPSUM BOARD / BLOCK WALL AFTER THE REMOVAL OF SURFACE MOUNTED DEVICES, PREP AND PAINT WALL CORNER TO CORNER AND FLOOR TO CEILING.
4. PREP & PAINT NEW CONDUITS, JUNCTION BOXES, ETC. COLOR TO MATCH ADJACENT WALL / CEILING. THIS MAY VARY BY LOCATION.
5. PREP & PAINT ENTIRE CEILING IN UNITS WHERE WORK IS TO BE DONE.
6. INSTALL NEW FIRE ALARM SYSTEM COMPLETE. REFER TO ELECTRICAL DRAWINGS.
 - 6.1. RUN CONDUITS CONCEALED ABOVE SUSPENDED CEILING
 - 6.2. RUN CONDUITS CONCEALED THRU SOFFIT IN CORRIDORS ON 2ND THRU 6TH FLOOR.
 - 6.3. RUN SURFACE MOUNT CONDUITS AT ALL HARD CEILINGS IN ALL DWELLING UNITS.
7. SEAL ALL PENETRATIONS THROUGH FLOOR & WALL ASSEMBLIES. MAINTAIN UL ASSEMBLY.
8. CORE EXISTING CONCRETE SLAB / PRE-CAST CONCRETE PLANK FLOOR SYSTEM TO EXTEND NEW CONDUITS VERTICALLY THROUGH BUILDING. SEAL ALL PENETRATIONS PER UL ASSEMBLIES.
9. MAINTAIN EXISTING FIRE ALARM SYSTEM OPERATIONAL UNTIL NEW SYSTEM IS IN PLACE & OPERATIONAL.
10. COORDINATE ALL REQUIREMENTS INCLUDING FIRE WATCH, ETC. WITH FIRE DEPARTMENT.
11. COORDINATE & PROVIDE RESIDENT NOTICES A MINIMUM OF 48 HOURS BEFORE ENTRY.

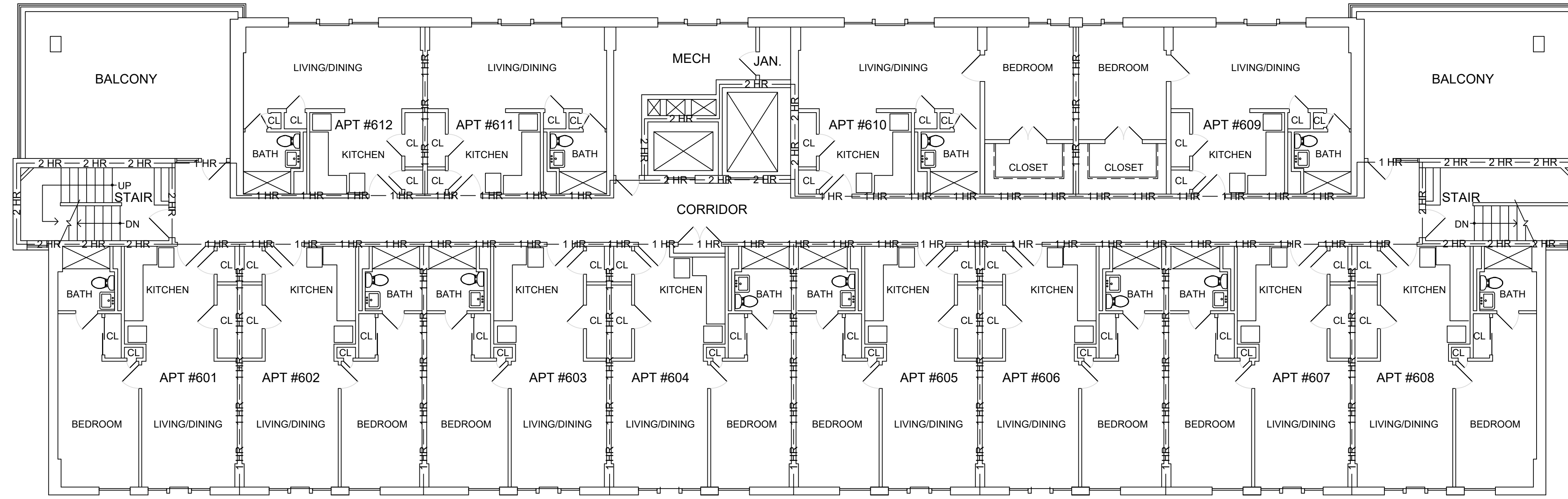
— 2 HR — UNIT DEMISING PARTITION
 FIRE BARRIER STAIR ENCLOSURE / ELEVATOR SHAFT
 1 HOUR FLOOR / CEILING ASSEMBLY TYPICAL



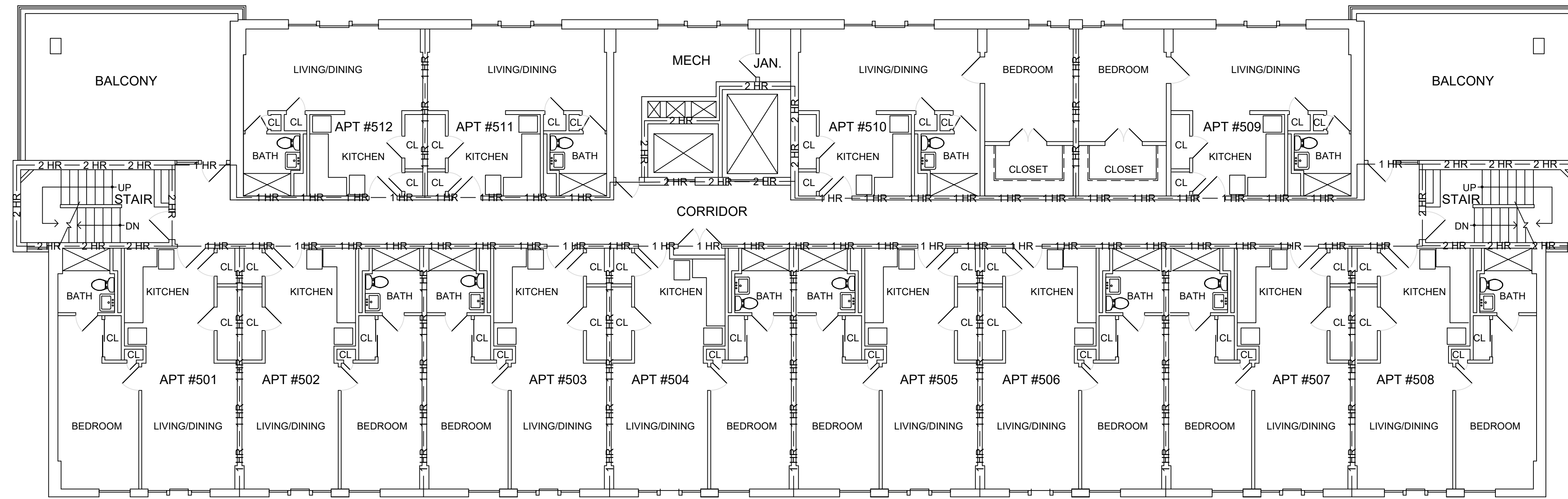
Fire Alarm System Upgrades at:
Westdale Terrace
 16 Melba Street
 Dayton, OH 45402

Project Number	2024-094
Date	May 16, 2025
Date	Issue
10.15.24	As-builts
11.21.24	Progress
12.17.24	50% Set
03.25.25	Review
03.31.25	CD Review
05.16.25	Bid Set

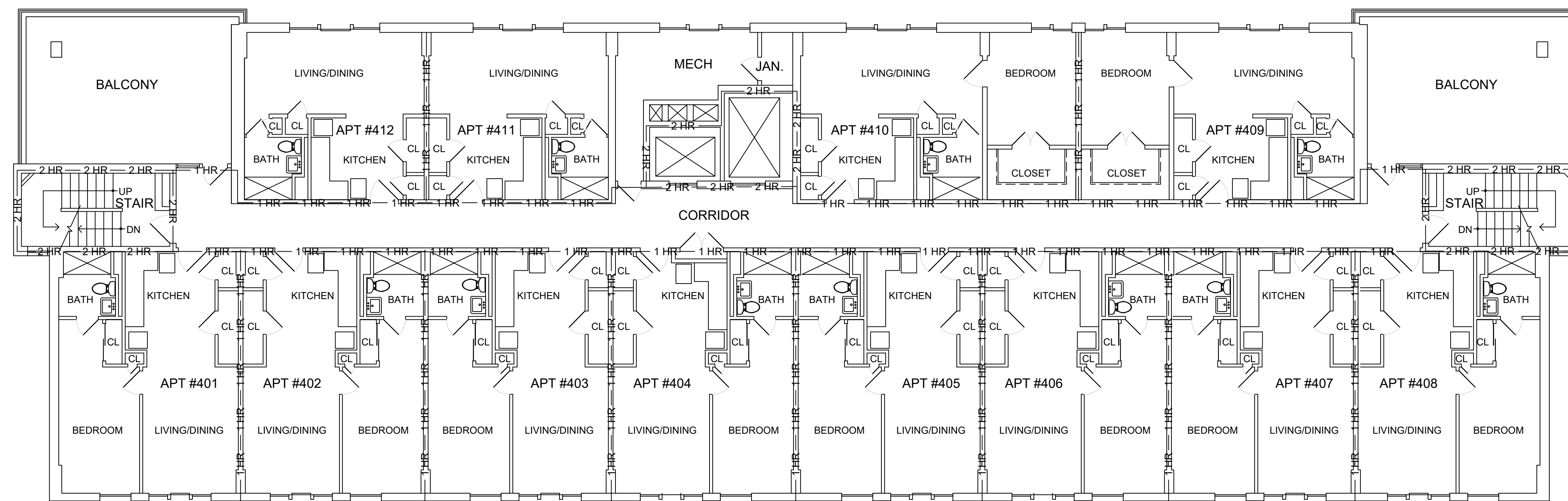
Sheet Title	First Floor Plan Second Floor Plan Third Floor Plan
Sheet Number	01-A1.1



C SIXTH FLOOR PLAN
SCALE: 1/8" = 1'-0"



B FIFTH FLOOR PLAN
SCALE: 1/8" = 1'-0"

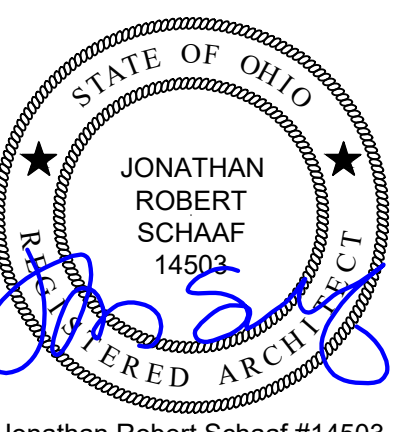


A FOURTH FLOOR PLAN
SCALE: 1/8" = 1'-0"

SCOPE OF WORK

1. REMOVE EXISTING CONDUITS, BOXES, DEVICES, & EQUIPMENT OF EXISTING FIRE ALARM SYSTEM BEING REMOVED COMPLETE AFTER INSTALLATION OF NEW FIRE ALARM SYSTEM. FIELD VERIFY CONDITIONS, ROUTINGS, & EXACT SCOPE OF REMOVAL. REFER TO ELECTRICAL DRAWINGS FOR LOCATION OF DEVICES.
2. PATCH & PREP ALL HOLES / OPENINGS AFTER THE REMOVAL OF EXISTING FIRE ALARM SYSTEM AND COMPONENTS FOR LIKE NEW CONDITION.
3. PATCH & PREP GYPSUM BOARD / BLOCK WALL AFTER THE REMOVAL OF EXISTING FIRE ALARM SYSTEM AND COMPONENTS FOR LIKE NEW CONDITION.
4. PREP & PAINT NEW CONDUITS, JUNCTION BOXES, ETC. COLOR TO MATCH ADJACENT WALL / CEILING. THIS MAY VARY BY LOCATION.
5. PREP & PAINT ENTIRE CEILING IN UNITS WHERE WORK IS TO BE DONE.
6. INSTALL NEW FIRE ALARM SYSTEM COMPLETE. REFER TO ELECTRICAL DRAWINGS.
- 6.1. RUN CONDUITS CONCEALED ABOVE SUSPENDED CEILING
- 6.2. RUN CONDUITS CONCEALED THRU SOFFIT IN CORRIDORS ON 2ND THRU 6TH FLOOR.
- 6.3. RUN SURFACE MOUNT CONDUITS AT ALL HARD CEILINGS IN ALL DWELLING UNITS.
7. SEAL ALL PENETRATIONS THROUGH FLOOR & WALL ASSEMBLIES. MAINTAIN UL ASSEMBLY.
8. CORE EXISTING CONCRETE SLAB / PRE-CAST CONCRETE PLANK FLOOR SYSTEM TO EXTEND NEW CONDUITS VERTICALLY THROUGH BUILDING. SEAL ALL PENETRATIONS PER UL ASSEMBLIES.
9. MAINTAIN EXISTING FIRE ALARM SYSTEM OPERATIONAL UNTIL NEW SYSTEM IS IN PLACE & OPERATIONAL.
10. COORDINATE ALL REQUIREMENTS INCLUDING FIRE WATCH, ETC. WITH FIRE DEPARTMENT.
11. COORDINATE & PROVIDE RESIDENT NOTICES A MINIMUM OF 48 HOURS PRIOR TO ENTRY.

— 1 HR — UNIT DEMISING PARTITION
— 2 HR — FIRE BARRIER STAIR ENCLOSURE / ELEVATOR SHAFT
1 HOUR FLOOR / CEILING ASSEMBLY TYPICAL



Jonathan Robert SchAAF #14503
Expiration Date 12/31/2025

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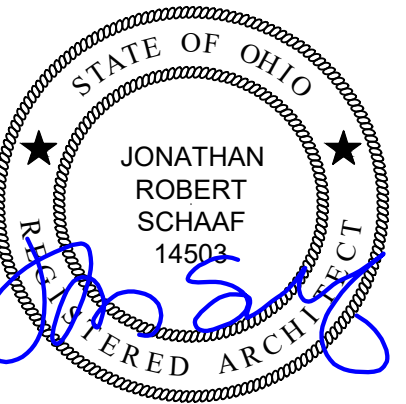


Fire Alarm System Upgrades at:
Westdale Terrace
16 Melba Street
Dayton, OH 45402

Project Number	2024-094
Date	May 16, 2025
Date	Issue
10.15.24	As-builts
11.21.24	Progress
12.17.24	50% Set
03.25.25	Review
03.31.25	CD Review
05.16.25	Bid Set

Sheet Title
Fourth Floor Plan
Fifth Floor Plan
Sixth Floor Plan
Sheet Number

01-A1.2



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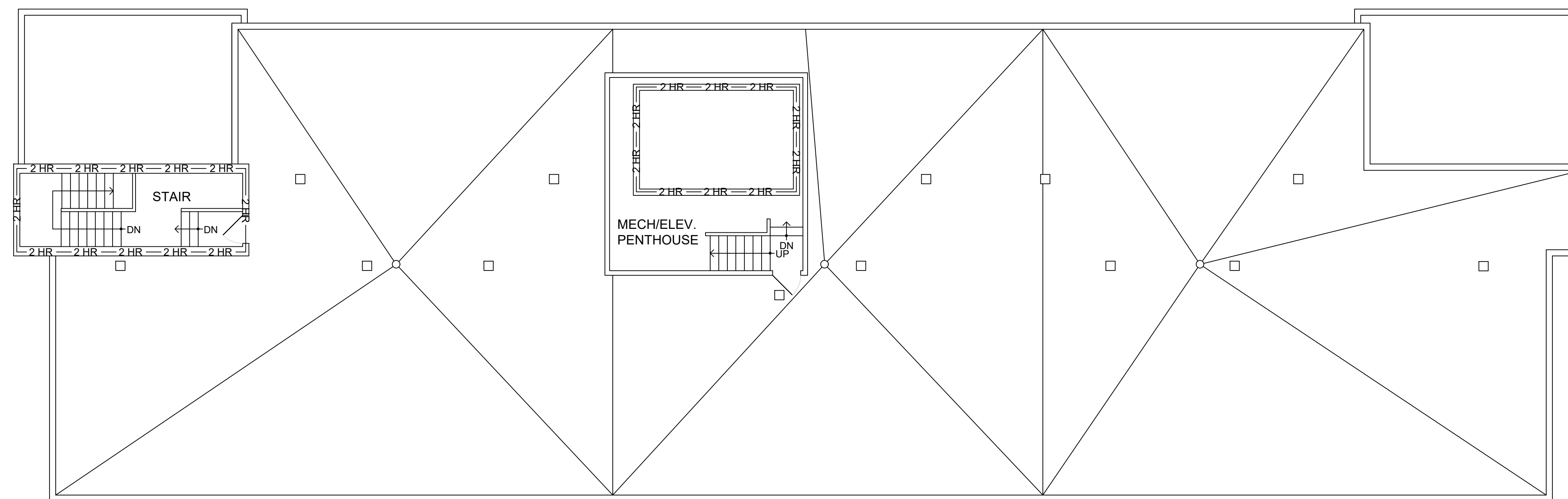
RDA GROUP ARCHITECTS
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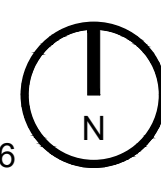
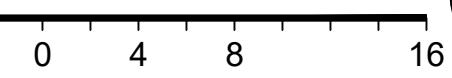
SCOPE OF WORK

1. REMOVE EXISTING CONDUITS, BOXES, DEVICES, & EQUIPMENT OF EXISTING FIRE ALARM SYSTEM BEING REMOVED COMPLETE AFTER INSTALLATION OF NEW FIRE ALARM SYSTEM. FIELD VERIFY CONDITIONS, ROUTINGS, & EXACT SCOPE OF REMOVAL. REFER TO ELECTRICAL DRAWINGS FOR LOCATION OF DEVICES.
2. PATCH & PREP ALL HOLES / OPENINGS AFTER THE REMOVAL OF EXISTING FIRE ALARM SYSTEM AND COMPONENTS FOR LIKE NEW CONDITION.
3. PATCH & PREP GYPSUM BOARD / BLOCK WALL AFTER THE REMOVAL OF SURFACE MOUNTED DEVICES. PREP AND PAINT WALL CORNER TO CORNER AND FLOOR TO CEILING.
4. PREP & PAINT NEW CONDUITS, JUNCTION BOXES, ETC. COLOR TO MATCH ADJACENT WALL / CEILING. THIS MAY VARY BY LOCATION.
5. PREP & PAINT ENTIRE CEILING IN UNITS WHERE WORK IS TO BE DONE.
6. INSTALL NEW FIRE ALARM SYSTEM COMPLETE. REFER TO ELECTRICAL DRAWINGS.
 - 6.1. RUN CONDUITS CONCEALED ABOVE SUSPENDED CEILING
 - 6.2. RUN CONDUITS CONCEALED THRU SOFFIT IN CORRIDORS ON 2ND THRU 6TH FLOOR.
 - 6.3. RUN SURFACE MOUNT CONDUITS AT ALL HARD CEILINGS IN ALL DWELLING UNITS.
7. SEAL ALL PENETRATIONS THROUGH FLOOR & WALL ASSEMBLIES. MAINTAIN UL ASSEMBLY.
8. CORE EXISTING CONCRETE SLAB / PRE-CAST CONCRETE PLANK FLOOR SYSTEM TO EXTEND NEW CONDUITS VERTICALLY THROUGH BUILDING. SEAL ALL PENETRATIONS PER UL ASSEMBLIES.
9. MAINTAIN EXISTING FIRE ALARM SYSTEM OPERATIONAL UNTIL NEW SYSTEM IS IN PLACE & OPERATIONAL.
10. COORDINATE ALL REQUIREMENTS INCLUDING FIRE WATCH, ETC. WITH FIRE DEPARTMENT.
11. COORDINATE & PROVIDE RESIDENT NOTICES A MINIMUM OF 48 HOURS PRIOR TO ENTRY.

— 1 HR — UNIT DEMISING PARTITION
 — 2 HR — FIRE BARRIER STAIR ENCLOSURE / ELEVATOR SHAFT
 1 HOUR FLOOR / CEILING ASSEMBLY TYPICAL



A ROOF PLAN
 SCALE: 1/8" = 1'-0"

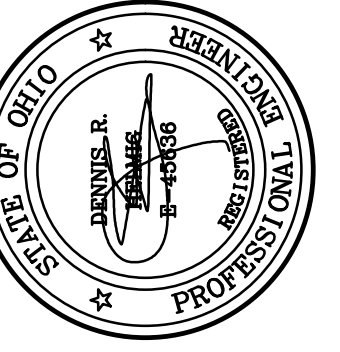


Fire Alarm System Upgrades at:
Westdale Terrace
 16 Melba Street
 Dayton, OH 45402

Project Number	2024-094
Date	May 16, 2025
Date	Issue
10.15.24	As-builts
11.21.24	Progress
12.17.24	50% Set
03.25.25	Review
03.31.25	CD Review
05.16.25	Bid Set

Sheet Title
 Roof Plan

Sheet Number
01-A1.3

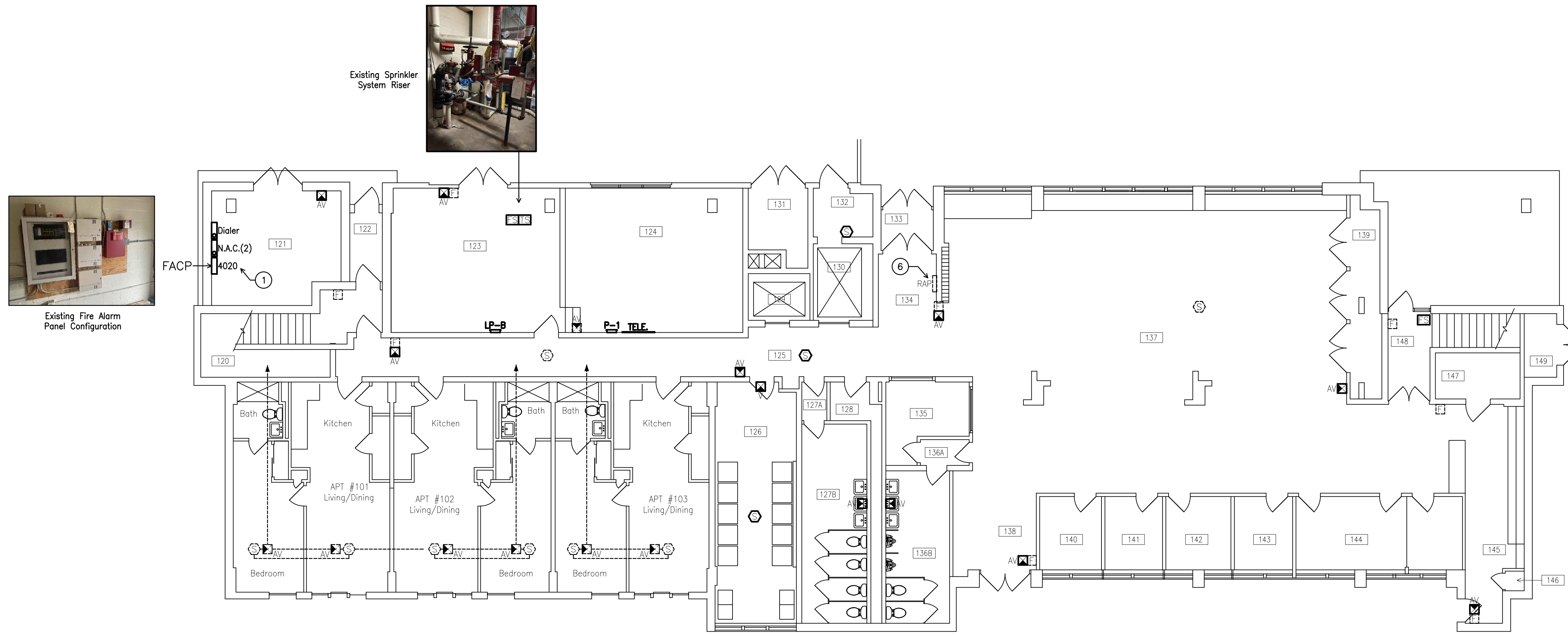


REVISIONS
05/16/2025 for Construction

Fire Alarm System Replacement
2025 Park Manor, Westdale, Wilmington
Greater Dayton Premier Management

Helmig Lienesch LLC
Consulting Engineers
410 South Jefferson Street
Dayton, Ohio 45402
(937) 228-4007
FAX: (937) 228-1936

DRAWN BY: WLE
CHECKED BY: DRH
DATE: May 16, 2025
PROJECT NO: Westdale
TITLE: FIRST FLOOR PLAN
SHEET NO: 01-E101



ROOM INDEX

- 120 STAIR
121 ELECTRIC ROOM
122 ENTRY
123 STORAGE
124 MECHANICAL
125 CORRIDOR
126 LAUNDRY
127A ALCOVE
127B WOMEN'S
128 MECHANICAL
129 ELEVATOR
130 ELEVATOR
131 MECHANICAL
132 ELEVATOR LOBBY
133 VESTIBULE
134 ENTRY
135 MAIL ROOM
136A ALCOVE
136B MEN'S
137 COMMUNITY AREA
138 ENTRY
139 CLOSET
140 OFFICE
141 OFFICE
142 OFFICE
143 OFFICE
144 OFFICE
145 ENTRY
146 CLOSET
147 STORAGE
148 STORAGE
149 STORAGE

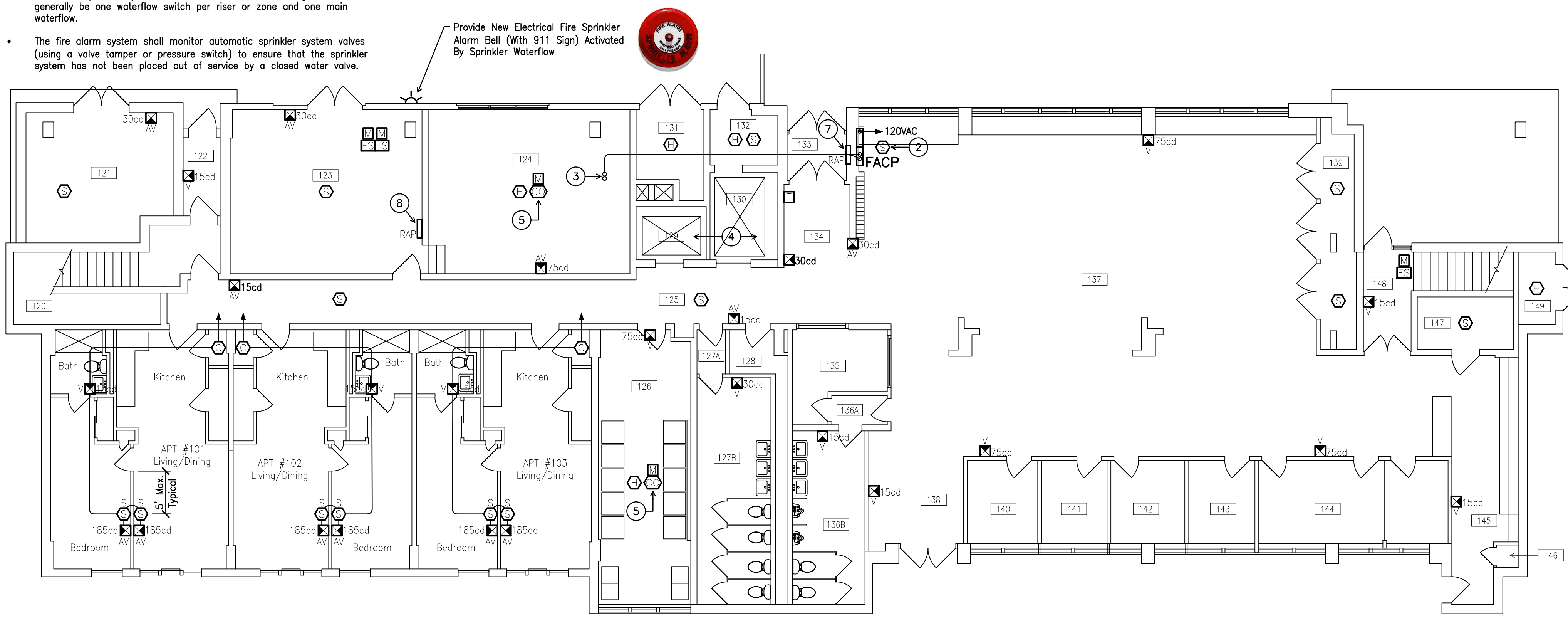
DRAWING NOTES

- 1 EXISTING FIRE ALARM SYSTEM TO REMAIN IN SERVICE UNTIL NEW FIRE ALARM SYSTEM IS ON-LINE. ONCE NEW SYSTEM IS ON-LINE, REMOVE EXISTING PANELS, AND ASSOCIATED CONDUIT & WIRE, THEN PATCH OPENINGS AND FINISH WALL TO MATCH EXISTING.
2 NEW FIRE ALARM CONTROL PANELS PROPOSED LOCATION. FURR WALL FLOOR TO CEILING, PAINT TO MATCH EXISTING WALLS, PROVIDE MATCHING VINYL COVE BASE.
3 PROVIDE CONDUITS FOR RISER WIRING AS REQUIRED PER MANUFACTURERS WIRING REQUIREMENT. RUN EXPOSED AS HIGH AS POSSIBLE. CORE DRILL RISERS THROUGH EXISTING FLEXICORE VOIDS.
4 PROVIDE FIRE ALARM SIGNALING CIRCUIT TO EXISTING ELEVATOR CONTROL PANEL FOR ELEVATOR RECALL.
5 PROVIDE NOTIFIER CO-1224T CARBON MONOXIDE DETECTOR. THIS CO DETECTOR HAS A BUILT IN SOUNDER FOR TEMPORAL 4 (CO) AND TIES INTO THE FIRE ALARM PANEL VIA A MONITOR MODULE. PULL 24V POWER TO THIS CO DETECTOR. THE ADDRESSABLE CO DETECTOR WILL NEED A SOUNDER BASE AND THE PANEL WOULD HAVE TO BE ABLE TO TURN ON THE TEMPORAL 4 SOUNDER FOR THE CO.
6 REMOVE EXISTING REMOTE ANNUNCIATOR AND PATCH WALL.
7 PROVIDE NEW REMOTE ANNUNCIATOR IN VESTIBULE. PROVIDE A SECOND REMOTE ANNUNCIATOR ON FIRST FLOOR FOR MAINTENANCE STAFF CONVENIENCE. LOCATION TO BE DETERMINED.
8 PROVIDE NEW (SECOND) REMOTE ANNUNCIATOR IN BOILER ROOM.

FIRST FLOOR EXISTING CONDITIONS

Fire alarm system interconnect with fire sprinkler system:

- An approved audible device, located on the exterior of the building in an approved location, shall be connected to automatic sprinkler system.
The automatic sprinkler system shall be interconnected to fire alarm system waterflow switches. These devices, when actuated by a flow of water in the automatic sprinkler system, produce an alarm signal to the fire alarm system, which then operates as required. If there are multiple automatic sprinkler system risers or zones in the building, there will generally be one waterflow switch per riser or zone and one main waterflow.
The fire alarm system shall monitor automatic sprinkler system valves (using a valve tamper or pressure switch) to ensure that the sprinkler system has not been placed out of service by a closed water valve.



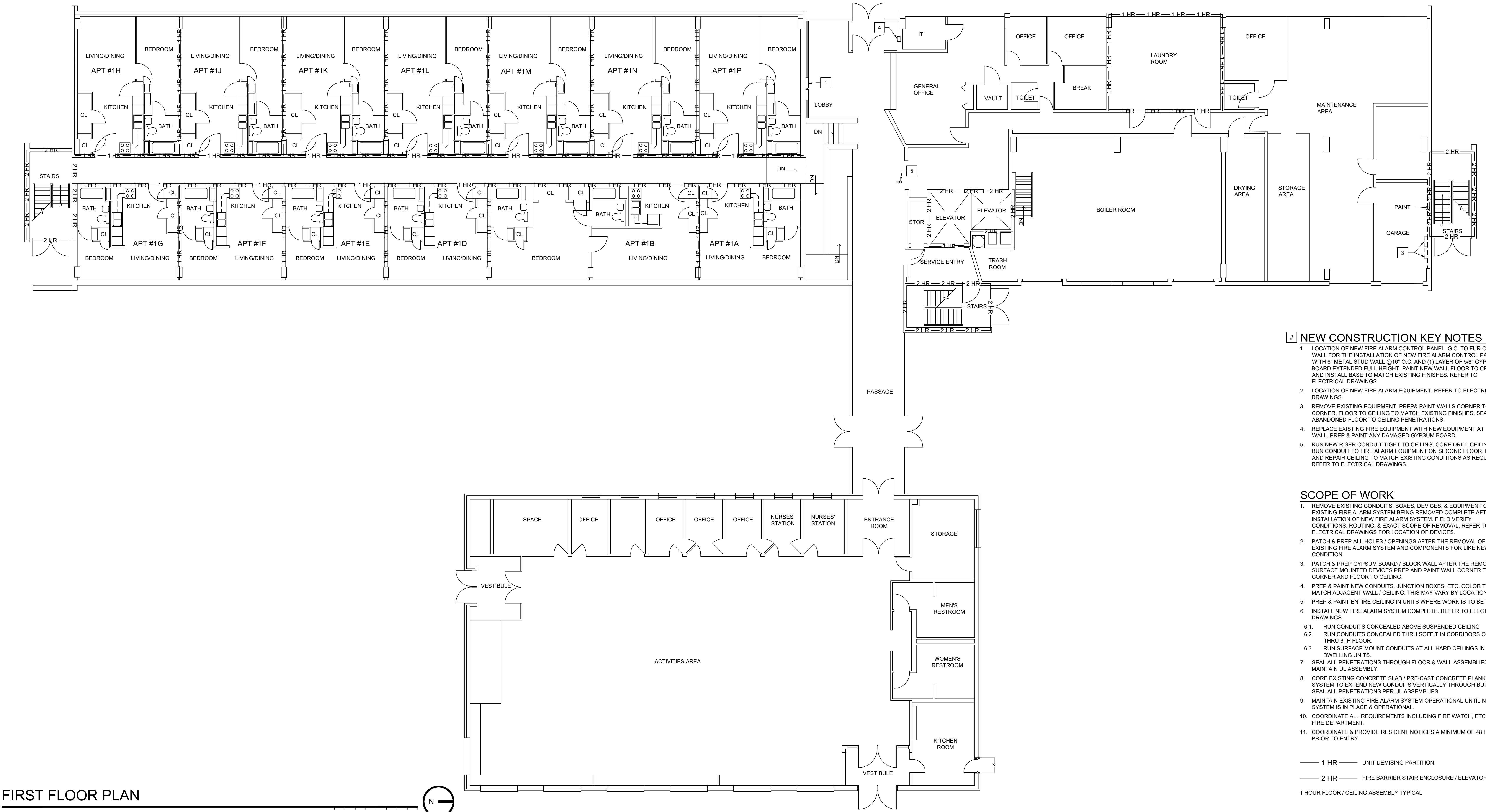
ROOM INDEX

- 120 STAIR
121 ELECTRIC ROOM
122 ENTRY
123 STORAGE
124 MECHANICAL
125 CORRIDOR
126 LAUNDRY
127A ALCOVE
127B WOMEN'S
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138 ENTRY
139 CLOSET
140 OFFICE
141 OFFICE
142 OFFICE
143 OFFICE
144 OFFICE
145 ENTRY
146 CLOSET
147 STORAGE
148 STORAGE
149 STORAGE

FIRST FLOOR REVISED

Westdale Terrace First Floor SCALE: (1/8"=1'-0")

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NEW CONSTRUCTION KEY NOTES

1. LOCATION OF NEW FIRE ALARM CONTROL PANEL. G.C. TO FUR OUT WALL FOR THE INSTALLATION OF NEW FIRE ALARM CONTROL PANEL WITH 6" METAL STUD WALL @16" O.C. AND (1) LAYER OF 5/8" GYPSUM BOARD EXTENDED FULL HEIGHT. PAINT NEW WALL FLOOR TO CEILING AND INSTALL BASE TO MATCH EXISTING FINISHES. REFER TO ELECTRICAL DRAWINGS.
2. LOCATION OF NEW FIRE ALARM EQUIPMENT. REFER TO ELECTRICAL DRAWINGS.
3. REMOVE EXISTING EQUIPMENT. PREP & PAINT WALLS CORNER TO CORNER, FLOOR TO CEILING TO MATCH EXISTING FINISHES. SEAL ALL ABANDONED FLOOR TO CEILING PENETRATIONS.
4. REPLACE EXISTING FIRE EQUIPMENT WITH NEW EQUIPMENT AT THIS WALL. PREP & PAINT ANY DAMAGED GYPSUM BOARD.
5. RUN NEW RISER CONDUIT TIGHT TO CEILING. CORE DRILL CEILING TO RUN CONDUIT TO FIRE ALARM EQUIPMENT ON SECOND FLOOR. PATCH AND REPAIR CEILING TO MATCH EXISTING CONDITIONS AS REQUIRED. REFER TO ELECTRICAL DRAWINGS.

SCOPE OF WORK

1. REMOVE EXISTING CONDUITS, BOXES, DEVICES, & EQUIPMENT OF EXISTING FIRE ALARM SYSTEM BEING REMOVED COMPLETE AFTER INSTALLATION OF NEW FIRE ALARM SYSTEM. FIELD VERIFY CONDITIONS, ROUTING, & EXACT SCOPE OF REMOVAL. REFER TO ELECTRICAL DRAWINGS FOR LOCATION OF DEVICES.
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 1 HOUR FLOOR / CEILING ASSEMBLY TYPICAL

B FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

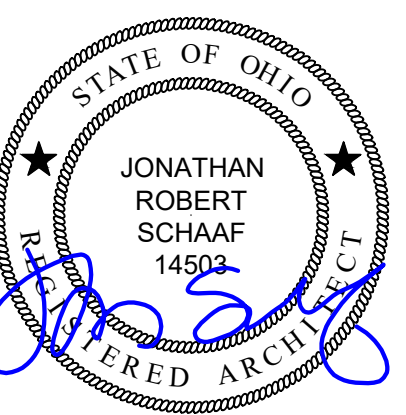
A BASEMENT FLOOR PLAN

SCALE: 1/8" = 1'-0"

Project Number	2024-106
Date	May 16, 2025
Date	Issue
10.15.24	As-builts
12.17.24	50% Set
03.31.25	CD Review
05.16.25	Bid Set

Sheet Title
 Basement Floor Plan
 First Floor Plan

Sheet Number
02-A1.1



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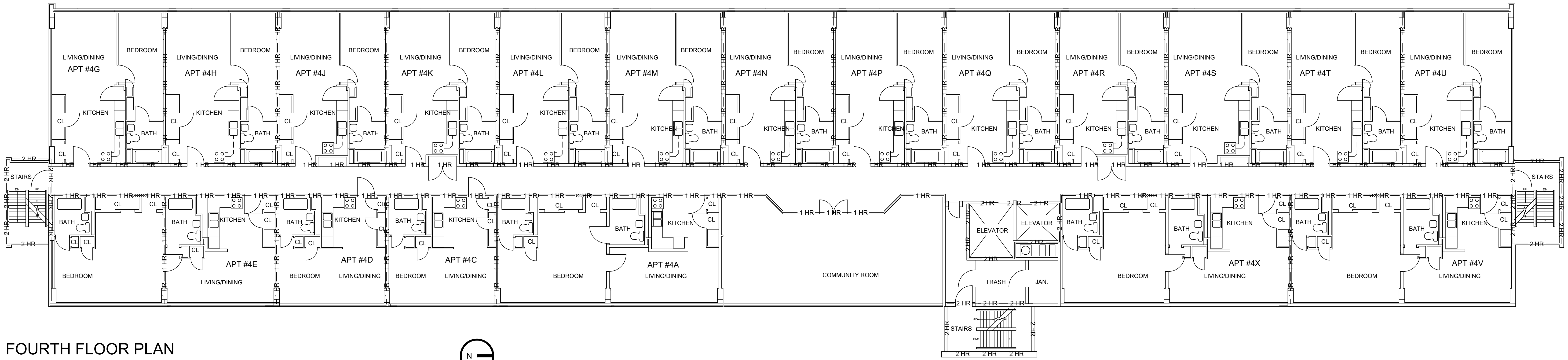


Fire Alarm System Upgrades at:
Park Manor Hi Rise
 220 Park Manor Dr
 Dayton, Ohio 45410

Project Number	2024-106
Date	May 16, 2025

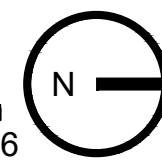
Date	Issue
10.15.24	As-builts
12.17.24	50% Set
03.31.25	CD Review
05.16.25	Bid Set

Sheet Title	Second Floor Plan Third Floor Plan Fourth Floor Plan
Sheet Number	02-A1.2

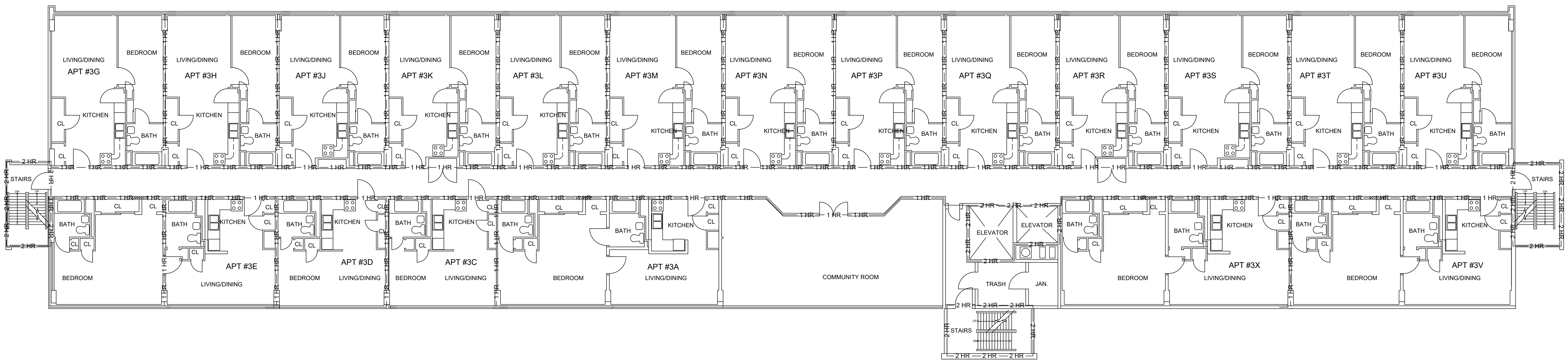


C FOURTH FLOOR PLAN

SCALE: 1/8" = 1'-0"

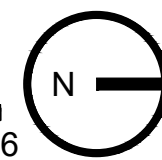


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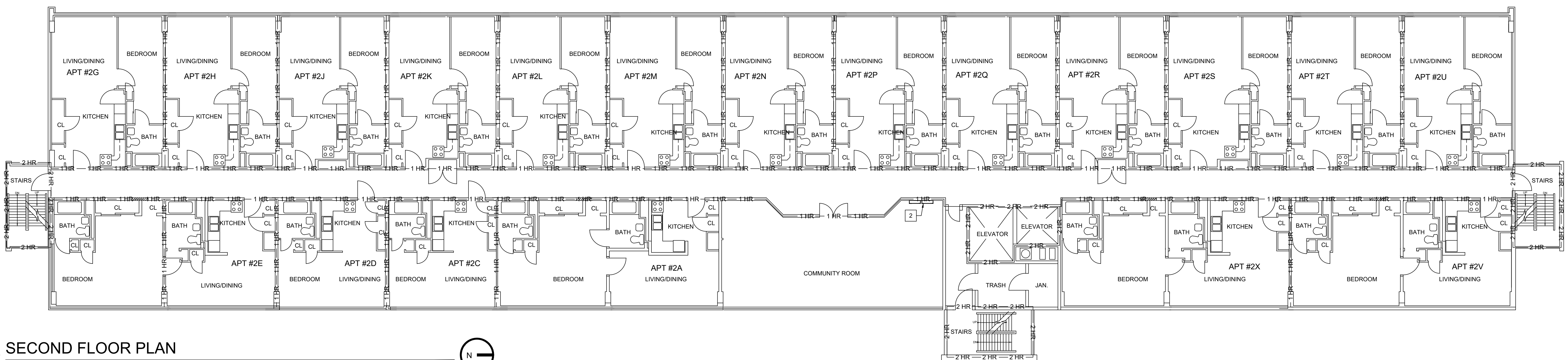


B THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"

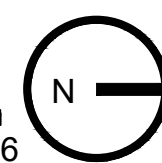


0 4 8 16



A SECOND FLOOR PLAN

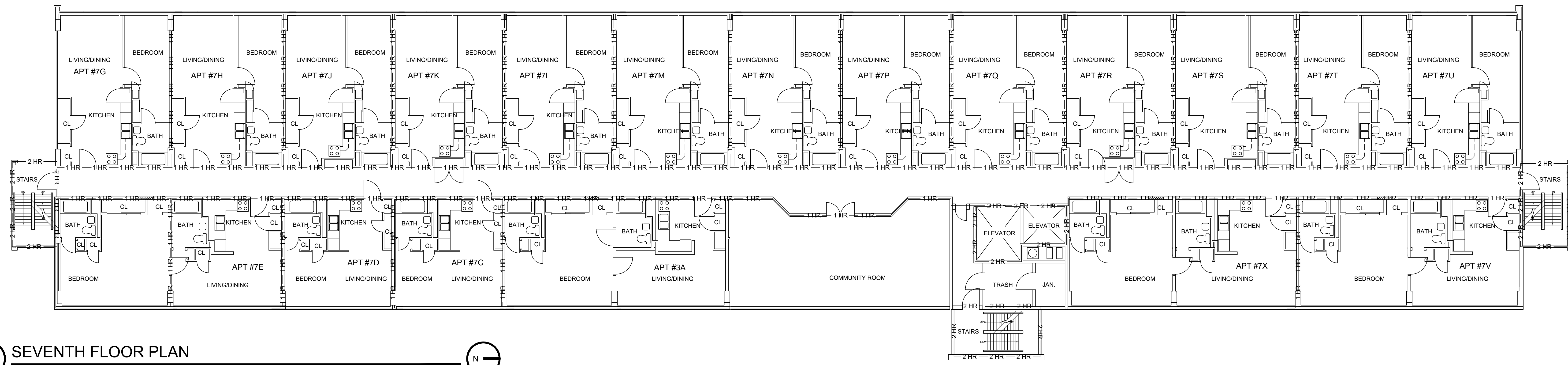
SCALE: 1/8" = 1'-0"



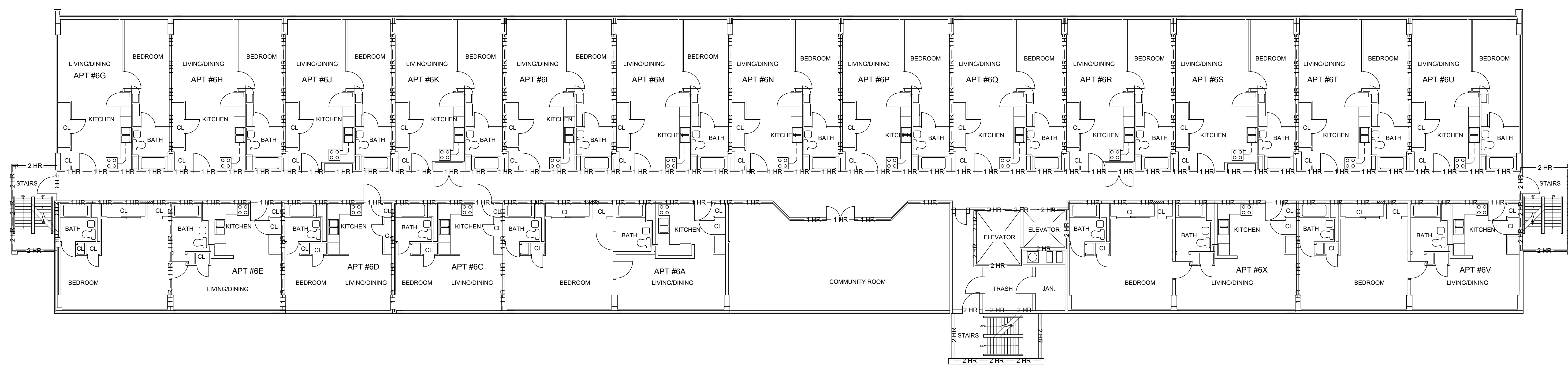
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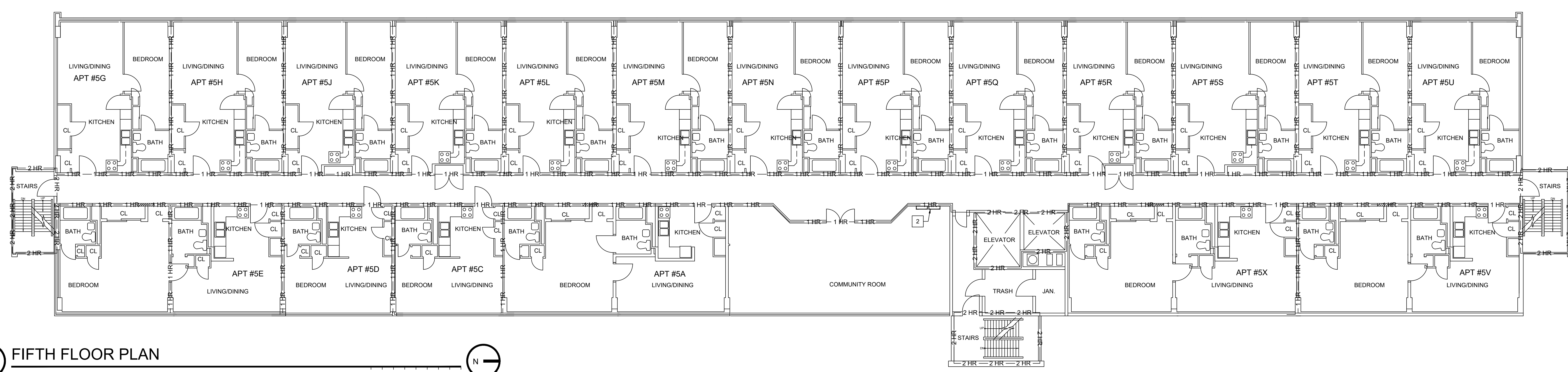
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Date	May 16, 2025
Date	Issue
10.15.24	As-builts
12.17.24	50% Set
03.31.25	CD Review
05.16.25	Bid Set



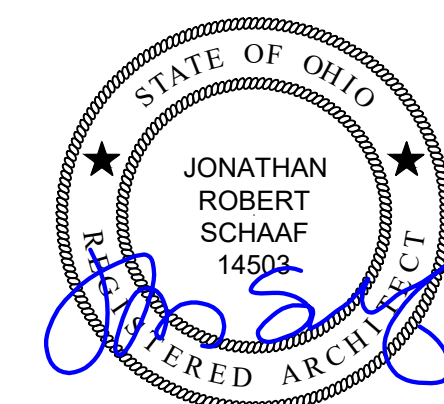
C SEVENTH FLOOR PLAN
 SCALE: 1/8" = 1'-0"



B SIXTH FLOOR PLAN
 SCALE: 1/8" = 1'-0"



A FIFTH FLOOR PLAN
 SCALE: 1/8" = 1'-0"

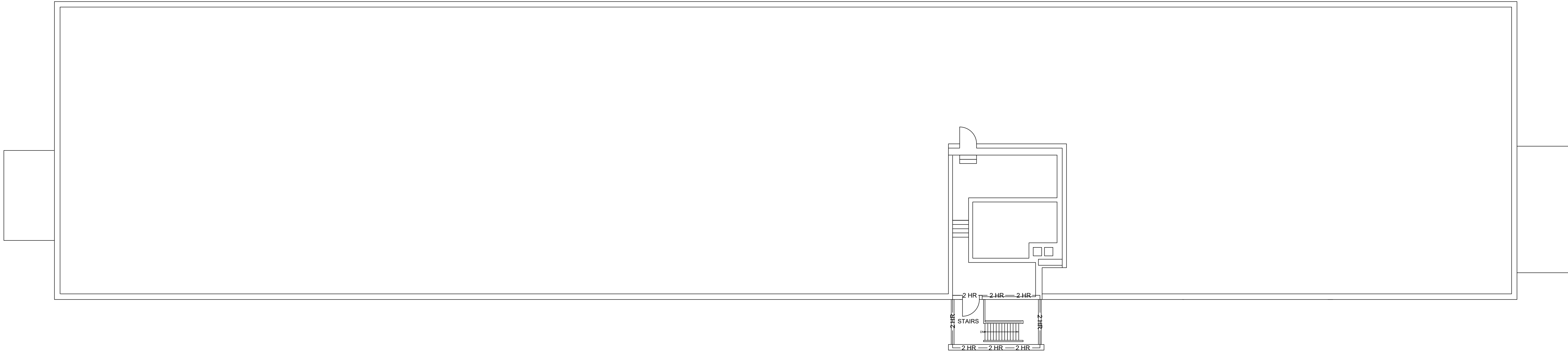


Jonathan Robert SchAAF #14503
 Expiration Date 12/31/2025
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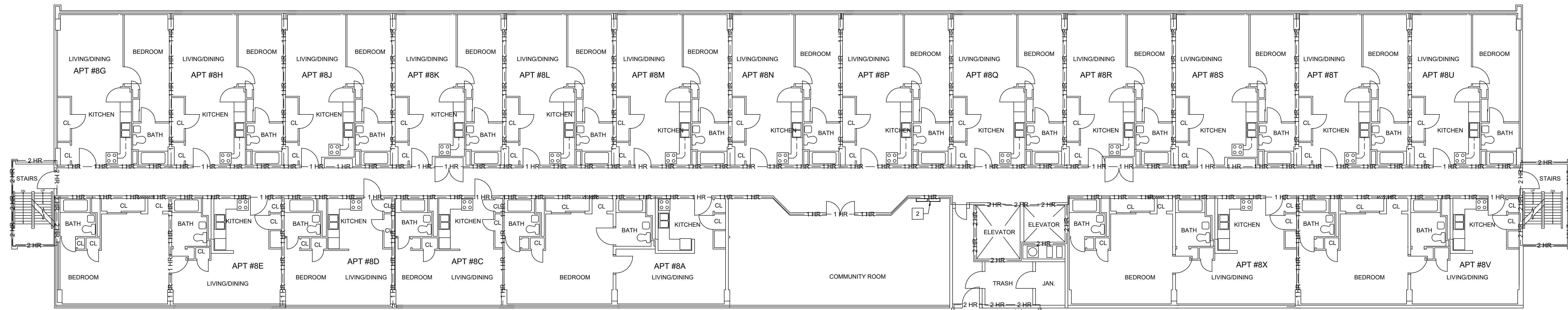
RDA GROUP ARCHITECTS
 7662 PARAGON ROAD | DAYTON, OH 45424 | 937.610.3440



Fire Alarm System Upgrades at:
Park Manor Hi Rise
 220 Park Manor Dr
 Dayton, Ohio 45410



B ROOF PLAN
 SCALE: 1/8" = 1'-0"



A EIGHTH FLOOR PLAN
 SCALE: 1/8" = 1'-0"

Project Number		2024-106
Date		May 16, 2025
Date	Issue	
10.15.24	As-builts	
12.17.24	50% Set	
03.31.25	CD Review	
05.16.25	Bid Set	

Sheet Title
 Eighth Floor Plan
 Roof Plan

Sheet Number

02-A1.4

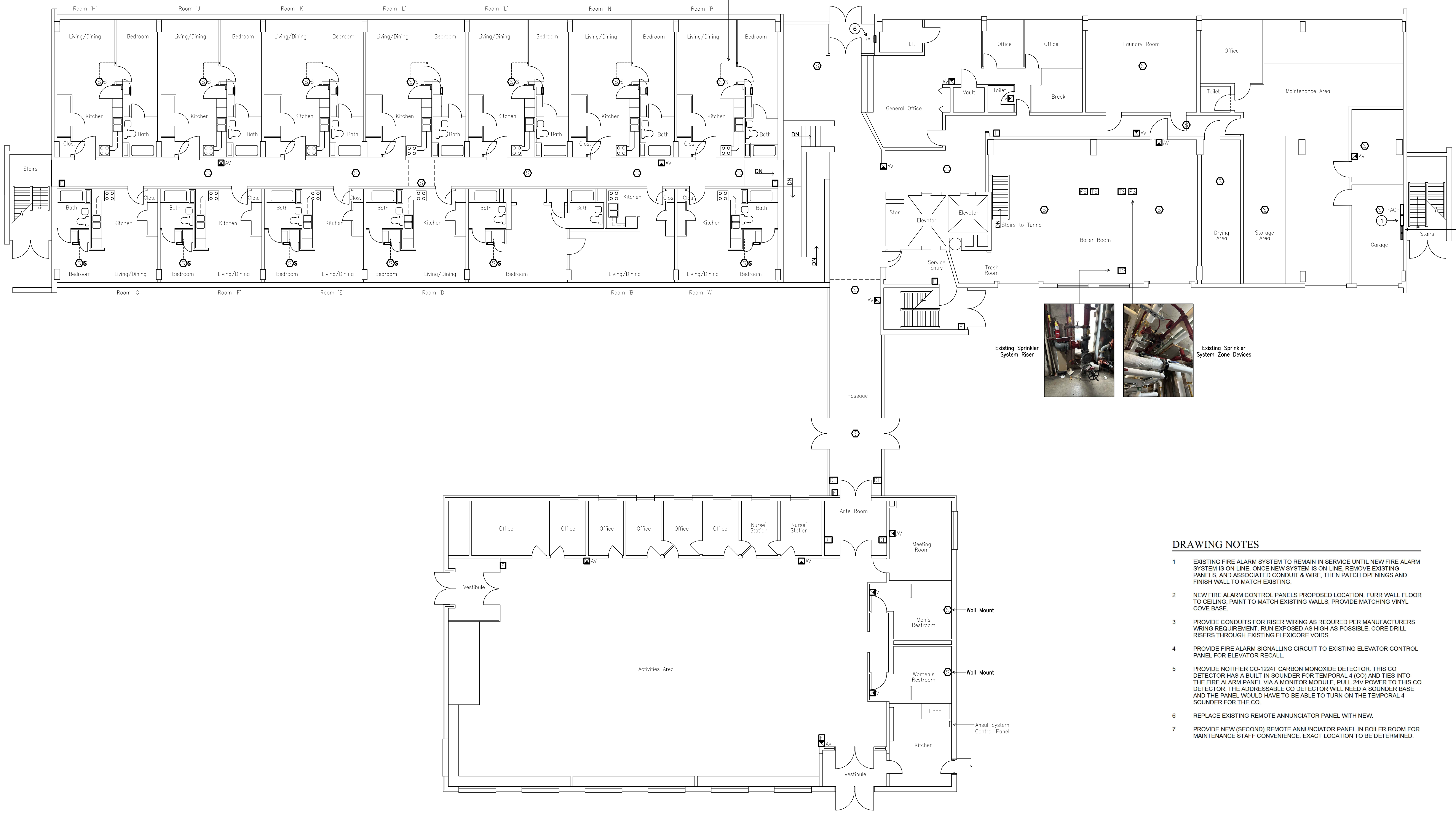
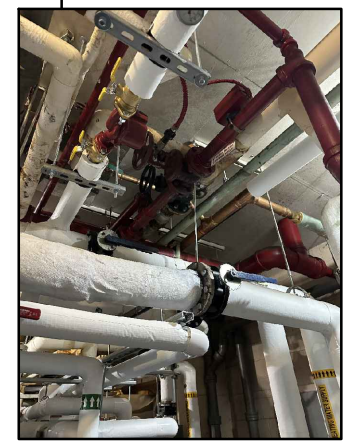
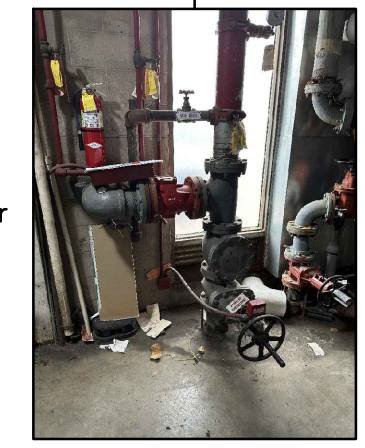
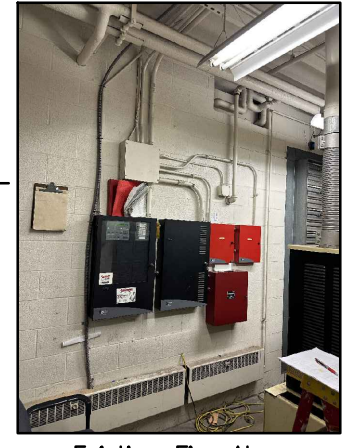


REVISIONS
05/16/25 for Construction

Fire Alarm System Replacement
2025 Park Manor, Westdale, Wilmington
Greater Dayton Premier Management

Helmig Lienesch LLC
Consulting Engineers
410 South Jefferson Street
Dayton, Ohio 45402
(937) 228-4007
FAX: (937) 228-1936

DRAWN BY: WLE
CHECKED BY: DRH
DATE: May 16, 2025
PROJECT NO: Park Manor
TITLE: FIRST FLOOR EXISTING
SHEET NO: 02-E201



- DRAWING NOTES**
- EXISTING FIRE ALARM SYSTEM TO REMAIN IN SERVICE UNTIL NEW FIRE ALARM SYSTEM IS ON-LINE. ONCE NEW SYSTEM IS ON-LINE, REMOVE EXISTING PANELS, AND ASSOCIATED CONDUIT & WIRE, THEN PATCH OPENINGS AND FINISH WALL TO MATCH EXISTING.
 - NEW FIRE ALARM CONTROL PANELS PROPOSED LOCATION. FURR WALL FLOOR TO CEILING. PAINT TO MATCH EXISTING WALLS, PROVIDE MATCHING VINYL COVE BASE.
 - PROVIDE CONDUITS FOR RISER WIRING AS REQUIRED PER MANUFACTURERS WIRING REQUIREMENT. RUN EXPOSED AS HIGH AS POSSIBLE. CORE DRILL RISERS THROUGH EXISTING FLEXICORE VOIDS.
 - PROVIDE FIRE ALARM SIGNALLING CIRCUIT TO EXISTING ELEVATOR CONTROL PANEL FOR ELEVATOR RECALL.
 - PROVIDE NOTIFIER CO-1224T CARBON MONOXIDE DETECTOR. THIS CO DETECTOR HAS A BUILT IN SOUNDER FOR TEMPORAL 4 (CO) AND TIES INTO THE FIRE ALARM PANEL VIA A MONITOR MODULE. PULL 24V POWER TO THIS CO DETECTOR. THE ADDRESSABLE CO DETECTOR WILL NEED A SOUNDER BASE AND THE PANEL WOULD HAVE TO BE ABLE TO TURN ON THE TEMPORAL 4 SOUNDER FOR THE CO.
 - REPLACE EXISTING REMOTE ANNUNCIATOR PANEL WITH NEW.
 - PROVIDE NEW (SECOND) REMOTE ANNUNCIATOR PANEL IN BOILER ROOM FOR MAINTENANCE STAFF CONVENIENCE. EXACT LOCATION TO BE DETERMINED.

FIRST FLOOR EXISTING CONDITIONS

Park Manor First Floor Existing

SCALE: (1/8"=1'-0")

5/13/2025
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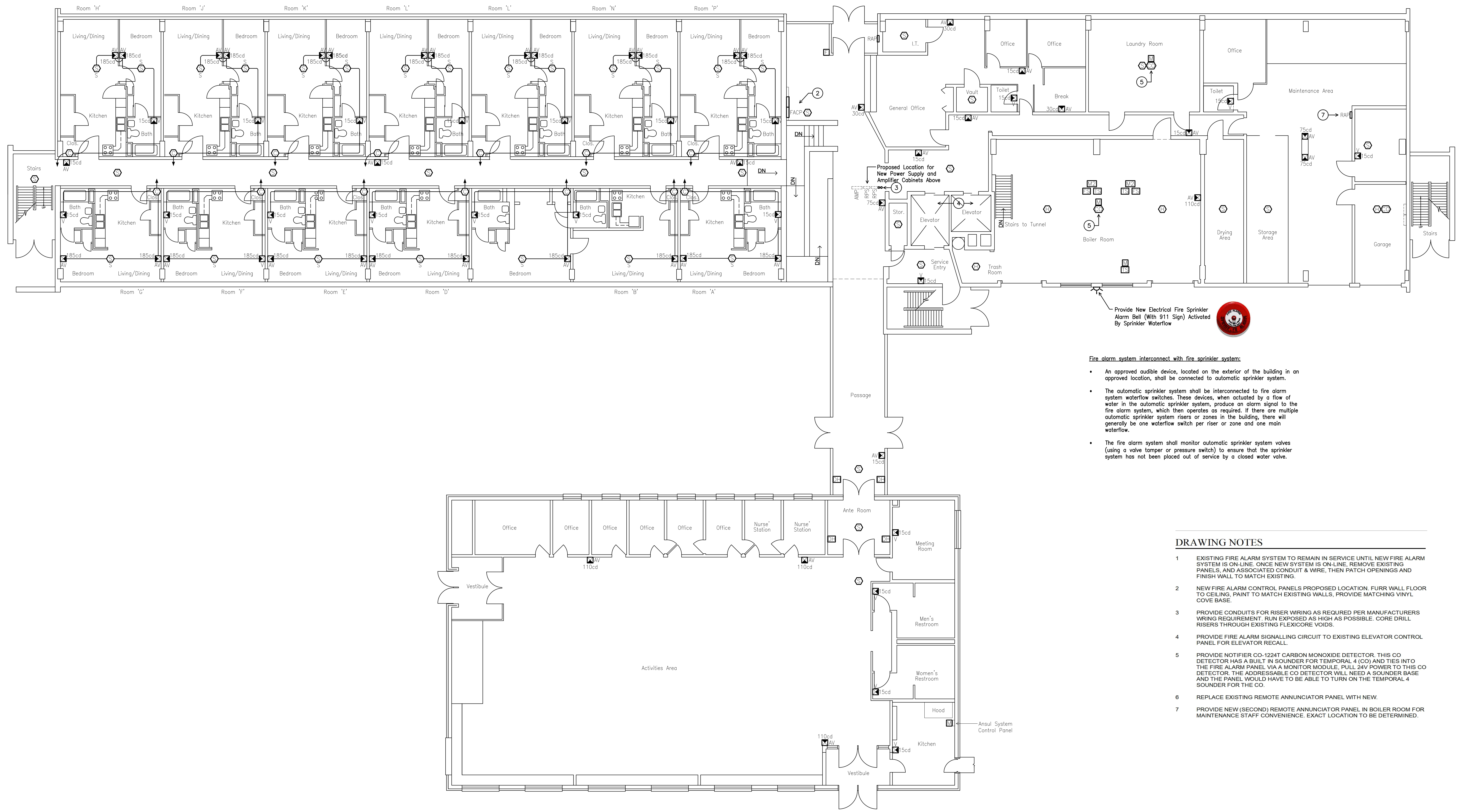


REVISIONS
05/16/25 for Construction

Fire Alarm System Replacement
2025 Park Manor, Westdale, Wilmington
Greater Dayton Premier Management

Helmig Lienesch LLC
Consulting Engineers
410 South Jefferson Street
Dayton, Ohio 45402
(937) 228-4007
FAX: (937) 228-1936

DRAWN BY:	WLE
CHECKED BY:	DRH
DATE:	May 16, 2025
PROJECT NO:	Park Manor
TITLE:	FIRST FLOOR REVISED
SHEET NO:	02-E202



- Fire alarm system interconnect with fire sprinkler system:**
- An approved audible device, located on the exterior of the building in an approved location, shall be connected to automatic sprinkler system.
 - The automatic sprinkler system shall be interconnected to fire alarm system waterflow switches. These devices, when actuated by a flow of water in the automatic sprinkler system, produce an alarm signal to the fire alarm system, which then operates as required. If there are multiple automatic sprinkler system risers or zones in the building, there will generally be one waterflow switch per riser or zone and one main waterflow.
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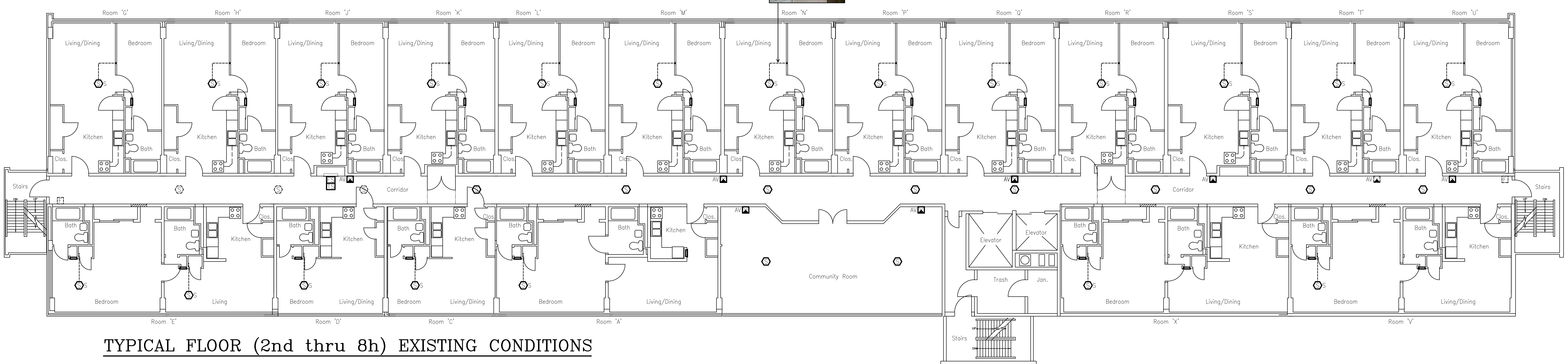
- DRAWING NOTES**
- EXISTING FIRE ALARM SYSTEM TO REMAIN IN SERVICE UNTIL NEW FIRE ALARM SYSTEM IS ON-LINE. ONCE NEW SYSTEM IS ON-LINE, REMOVE EXISTING PANELS, AND ASSOCIATED CONDUIT & WIRE, THEN PATCH OPENINGS AND FINISH WALL TO MATCH EXISTING.
 - NEW FIRE ALARM CONTROL PANELS PROPOSED LOCATION. FURR WALL FLOOR TO CEILING, PAINT TO MATCH EXISTING WALLS, PROVIDE MATCHING VINYL COVE BASE.
 - PROVIDE CONDUITS FOR RISER WIRING AS REQUIRED PER MANUFACTURERS WIRING REQUIREMENT. RUN EXPOSED AS HIGH AS POSSIBLE. CORE DRILL RISERS THROUGH EXISTING FLEXICORE VOIDS.
 - PROVIDE FIRE ALARM SIGNALING CIRCUIT TO EXISTING ELEVATOR CONTROL PANEL FOR ELEVATOR RECALL.
 - PROVIDE NOTIFIER CO-1224T CARBON MONOXIDE DETECTOR. THIS CO DETECTOR HAS A BUILT IN SOUNDER FOR TEMPORAL 4 (CO) AND TIES INTO THE FIRE ALARM PANEL VIA A MONITOR MODULE. PULL 24V POWER TO THIS CO DETECTOR. THE ADDRESSABLE CO DETECTOR WILL NEED A SOUNDER BASE AND THE PANEL WOULD HAVE TO BE ABLE TO TURN ON THE TEMPORAL 4 SOUNDER FOR THE CO.
 - REPLACE EXISTING REMOTE ANNUNCIATOR PANEL WITH NEW.
 - PROVIDE NEW (SECOND) REMOTE ANNUNCIATOR PANEL IN BOILER ROOM FOR MAINTENANCE STAFF CONVENIENCE. EXACT LOCATION TO BE DETERMINED.

FIRST FLOOR REVISED

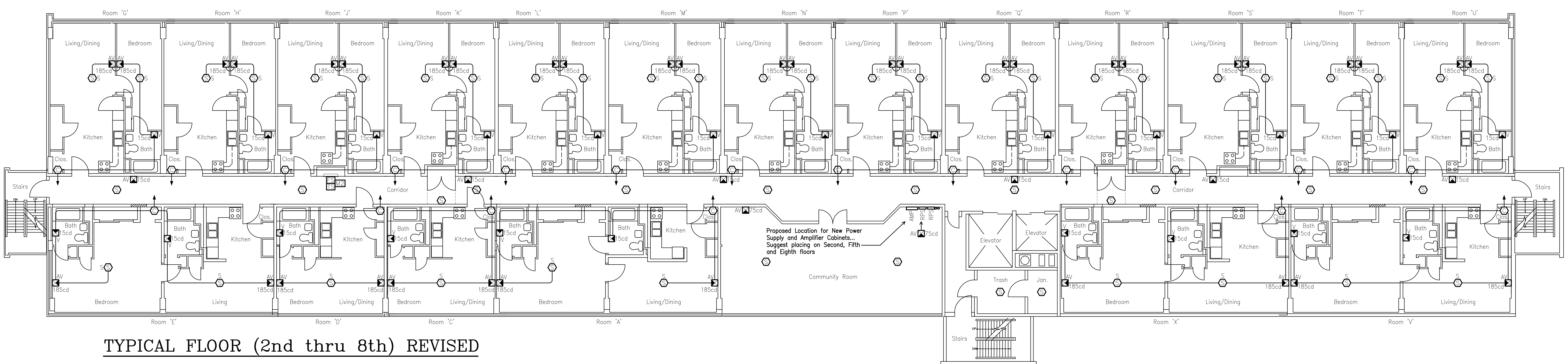
Park Manor First Floor Revised

SCALE: (1/8"=1'-0")

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TYPICAL FLOOR (2nd thru 8th) EXISTING CONDITIONS

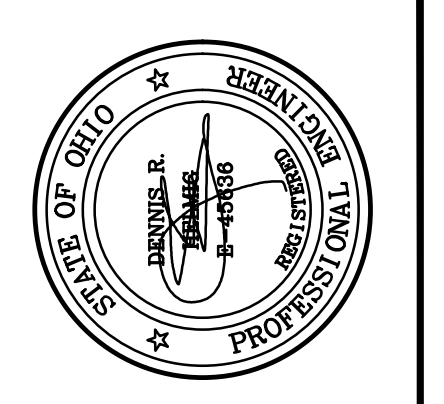


TYPICAL FLOOR (2nd thru 8th) REVISED

DRAWING NOTES

- 1 EXISTING FIRE ALARM SYSTEM TO REMAIN IN SERVICE UNTIL NEW FIRE ALARM SYSTEM IS ON-LINE. ONCE NEW SYSTEM IS ON-LINE, REMOVE EXISTING PANELS, AND ASSOCIATED CONDUIT & WIRE. THEN PATCH OPENINGS AND FINISH WALL TO MATCH EXISTING.
- 2 NEW FIRE ALARM CONTROL PANELS PROPOSED LOCATION. FURR WALL FLOOR TO CEILING. PAINT TO MATCH EXISTING WALLS. PROVIDE MATCHING VINYL COVE BASE.
- 3 PROVIDE CONDUITS FOR RISER WIRING AS REQUIRED PER MANUFACTURERS WRING REQUIREMENT. RUN EXPOSED AS HIGH AS POSSIBLE. CORE DRILL RISERS THROUGH EXISTING FLEXICORE VOIDS.
- 4 PROVIDE FIRE ALARM SIGNALLING CIRCUIT TO EXISTING ELEVATOR CONTROL PANEL FOR ELEVATOR RECALL.
- 5 PROVIDE NOTIFIER CO-1224T CARBON MONOXIDE DETECTOR. THIS CO DETECTOR HAS A BUILT IN SOUNDER FOR TEMPORAL 4 (CO) AND TIES INTO THE FIRE ALARM PANEL VIA A MONITOR MODULE. PULL 24V POWER TO THIS CO DETECTOR. THE ADDRESSABLE CO DETECTOR WILL NEED A SOUNDER BASE AND THE PANEL WOULD HAVE TO BE ABLE TO TURN ON THE TEMPORAL 4 SOUNDER FOR THE CO.
- 6 REPLACE EXISTING REMOTE ANNUNCIATOR PANEL WITH NEW.
- 7 PROVIDE NEW (SECOND) REMOTE ANNUNCIATOR PANEL IN BOILER ROOM FOR MAINTENANCE STAFF CONVENIENCE. EXACT LOCATION TO BE DETERMINED.

Park Manor Typical Floor
 SCALE: (1/8"=1'-0")

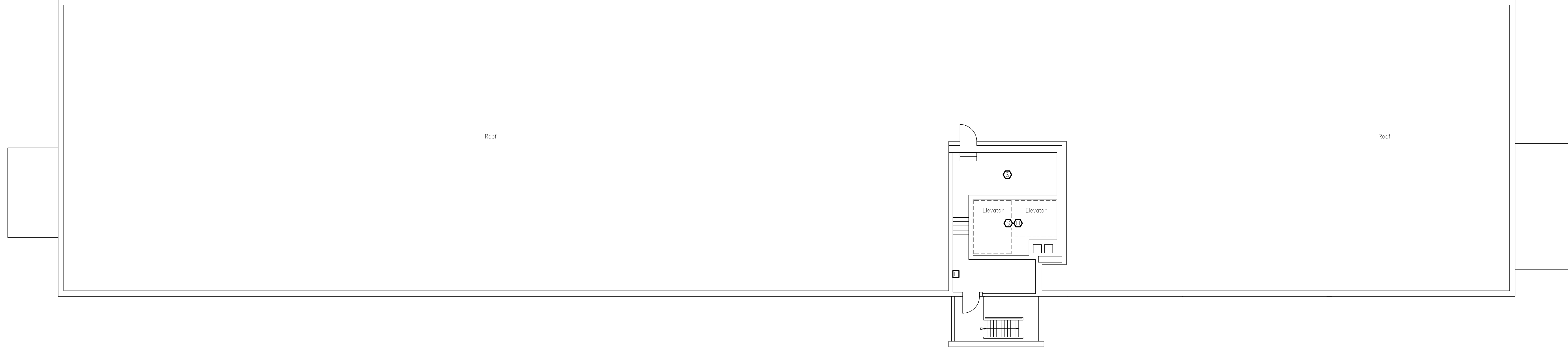


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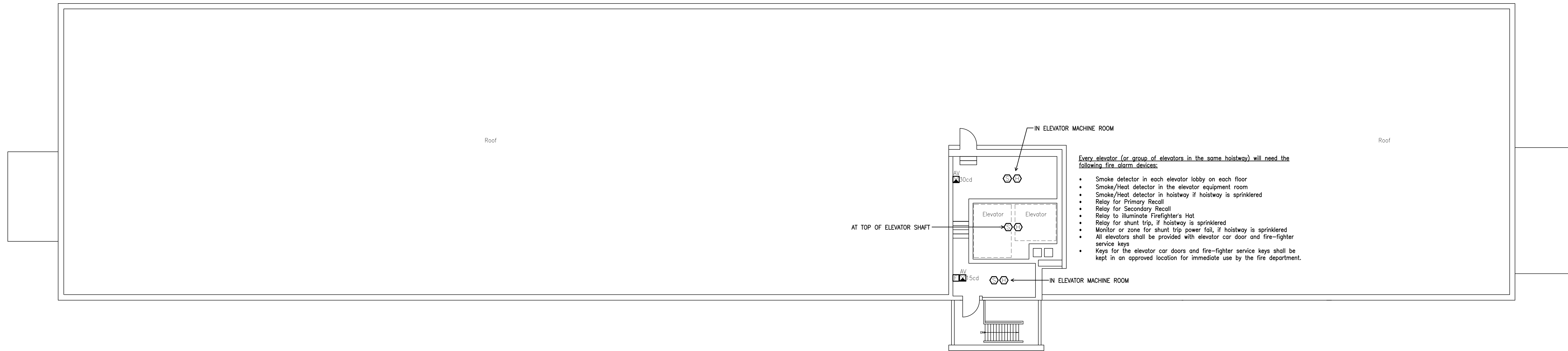
Fire Alarm System Replacement
 2025 Park Manor, Westdale, Wilmington
 Greater Dayton Premier Management

Helmig Lienesch LLC
 Consulting Engineers
 410 South Jefferson Street
 Dayton, Ohio 45402
 (937) 228-4007
 FAX: (937) 228-1936

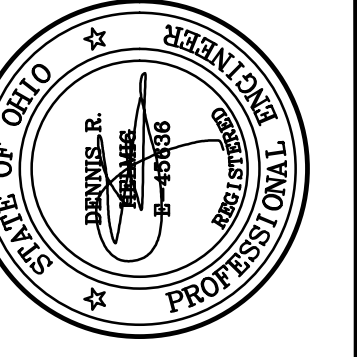
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 DATE: May 16, 2025
 PROJECT NO: Park Manor
 TITLE: TYPICAL FLOOR PLAN
 SHEET NO: 02-E203



ELEVATOR PENTHOUSE EXISTING CONDITIONS



ELEVATOR PENTHOUSE REVISED



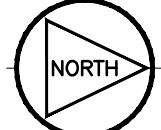
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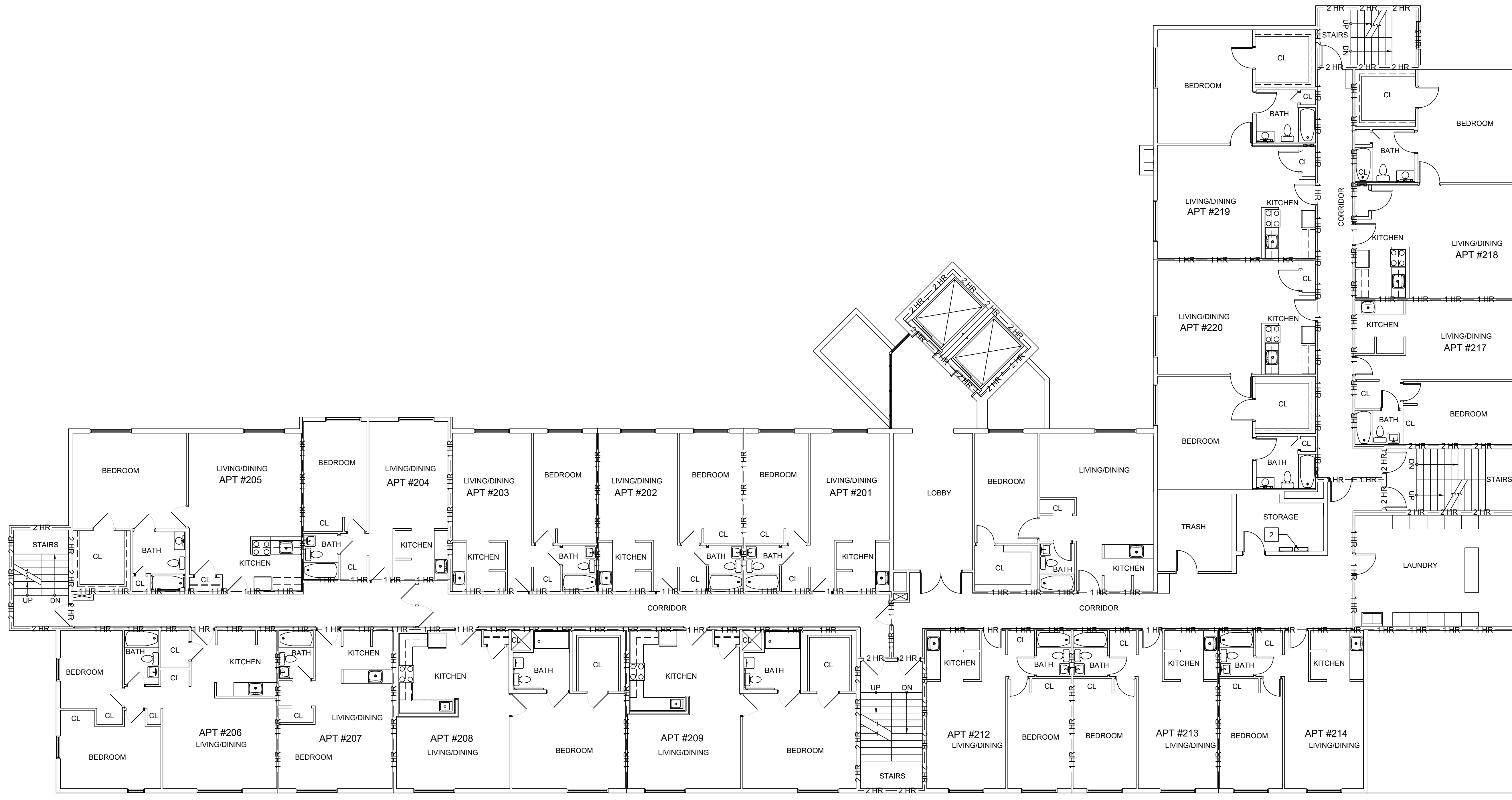
Fire Alarm System Replacement
2025 Park Manor, Westdale, Wilmington
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DATE: May 16, 2025
PROJECT NO: Park Manor
TITLE: ROOF PLAN
SHEET NO: 02-E204

Park Manor Elevator Penthouse

 SCALE: (1/8"=1'-0")



B SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 0 4 8 16

- # NEW CONSTRUCTION KEY NOTES**
1. LOCATION OF NEW FIRE ALARM CONTROL PANEL, G.C. TO FUR OUT WALL FOR THE INSTALLATION OF NEW FIRE ALARM CONTROL PANEL WITH 6" METAL STUD WALL @16" O.C. AND (1) LAYER OF 5/8" GYPSUM BOARD EXTENDED FULL HEIGHT. PAINT NEW WALL FLOOR TO CEILING AND INSTALL BASE TO MATCH EXISTING FINISHES. REFER TO ELECTRICAL DRAWINGS.
 2. LOCATION OF NEW FIRE ALARM EQUIPMENT, REFER TO ELECTRICAL DRAWINGS.
 3. REMOVE EXISTING EQUIPMENT. REPAIR GYPSUM BOARD AND PAINT WALLS CORNER TO CORNER, FLOOR TO CEILING TO MATCH EXISTING FINISHES.
 4. REPLACE EXISTING FIRE EQUIPMENT WITH NEW EQUIPMENT AT THIS WALL. PREP & PAINT ANY DAMAGED GYPSUM GYPSUM BOARD.
 5. RUN NEW RISER CONDUIT TIGHT TO CEILING. CORE DRILL CEILING TO RUN CONDUIT TO FIRE ALARM EQUIPMENT ON SECOND FLOOR. PATCH AND REPAIR CEILING TO MATCH EXISTING CONDITIONS AS REQUIRED. REFER TO ELECTRICAL DRAWINGS.

- SCOPE OF WORK**
1. REMOVE EXISTING CONDUITS, BOXES, DEVICES, & EQUIPMENT OF EXISTING FIRE ALARM SYSTEM BEING REMOVED COMPLETE AFTER INSTALLATION OF NEW FIRE ALARM SYSTEM. FIELD VERIFY CONDITIONS, ROUTING, & EXACT SCOPE OF REMOVAL. REFER TO ELECTRICAL DRAWINGS FOR LOCATION OF DEVICES.
 2. PATCH & PREP ALL HOLES / OPENINGS AFTER THE REMOVAL OF EXISTING FIRE ALARM SYSTEM AND COMPONENTS FOR LIKE NEW CONDITION.
 3. PATCH & PREP GYPSUM BOARD / BLOCK WALL AFTER THE REMOVAL OF SURFACE MOUNTED DEVICES PREP AND PAINT WALL CORNER TO CORNER AND FLOOR TO CEILING.
 4. PREP & PAINT NEW CONDUITS, JUNCTION BOXES, ETC. COLOR TO MATCH ADJACENT WALL / CEILING. THIS MAY VARY BY LOCATION.
 5. PREP & PAINT ENTIRE CEILING IN UNITS WHERE WORK IS TO BE DONE.
 6. INSTALL NEW FIRE ALARM SYSTEM COMPLETE. REFER TO ELECTRICAL DRAWINGS.
 - 6.1. RUN CONDUITS CONCEALED ABOVE SUSPENDED CEILING
 - 6.2. RUN CONDUITS CONCEALED THRU SOFFIT IN CORRIDORS ON 2ND THRU 6TH FLOOR.
 - 6.3. RUN SURFACE MOUNT CONDUITS AT ALL HARD CEILING IN ALL DWELLING UNITS.
 7. SEAL ALL PENETRATIONS THROUGH FLOOR & WALL ASSEMBLIES. MAINTAIN UL ASSEMBLY.
 8. CORE EXISTING CONCRETE SLAB / PRE-CAST CONCRETE PLANK FLOOR SYSTEM TO EXTEND NEW CONDUITS VERTICALLY THROUGH BUILDING. SEAL ALL PENETRATIONS PER UL ASSEMBLIES.
 9. MAINTAIN EXISTING FIRE ALARM SYSTEM OPERATIONAL UNTIL NEW SYSTEM IS IN PLACE & OPERATIONAL.
 10. COORDINATE ALL REQUIREMENTS INCLUDING FIRE WATCH, ETC. WITH FIRE DEPARTMENT.
 11. COORDINATE & PROVIDE RESIDENT NOTICES A MINIMUM OF 48 HOURS PRIOR TO ENTRY.

— 1 HR — UNIT DEMISING PARTITION
 — 2 HR — FIRE BARRIER STAIR ENCLOSURE / ELEVATOR SHAFT
 1 HOUR FLOOR / CEILING ASSEMBLY TYPICAL



A FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 0 4 8 16

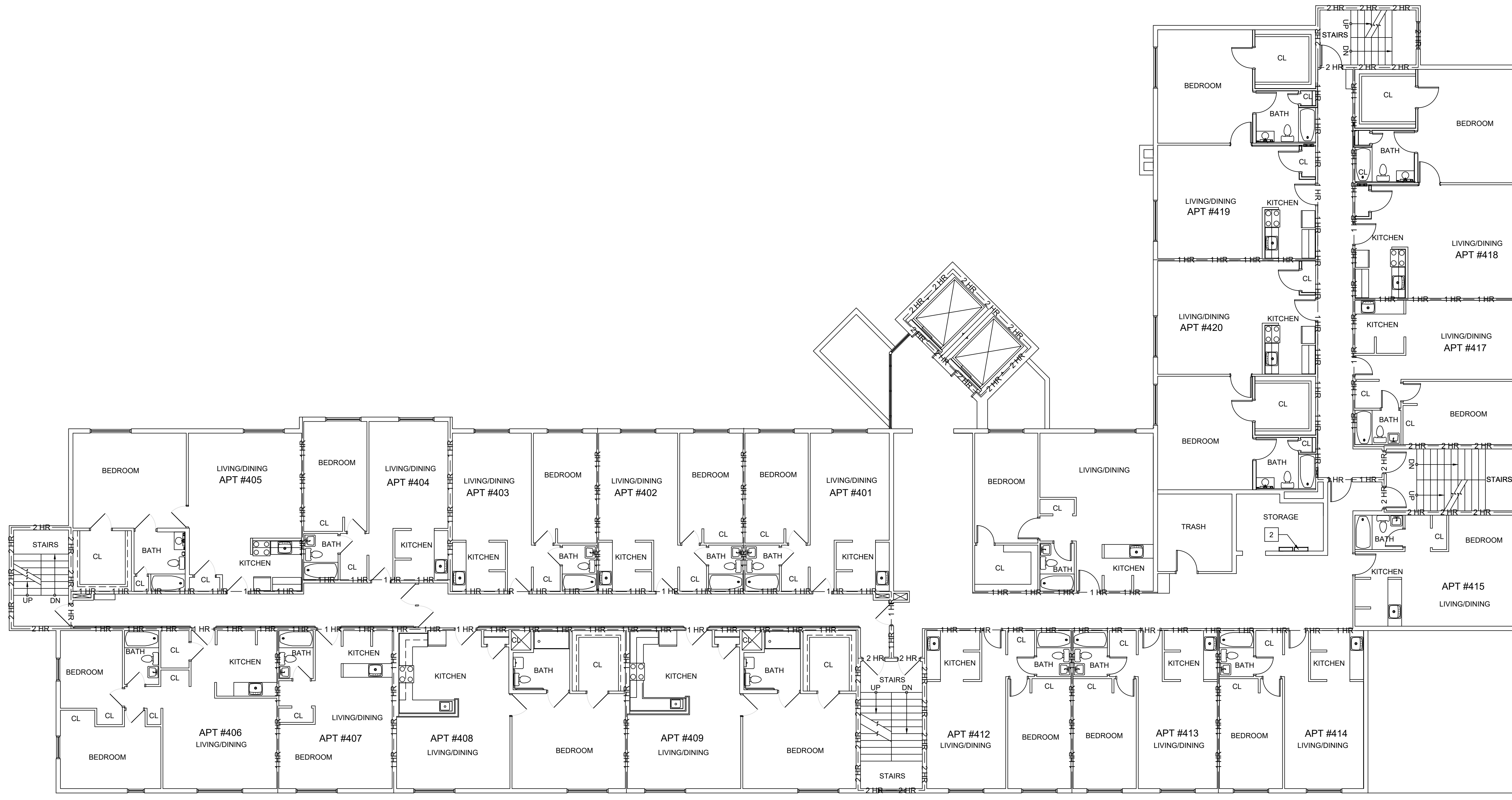


Fire Alarm System Upgrades at:
Wilmington Hi Rise
 958 Wilmington Ave
 Dayton, OH 45420

Project Number	2024-107
Date	May 16, 2025
Date	Issue
10.15.24	As-builts
12.17.24	50% Set
03.31.25	CD Review
05.16.25	Bid Set

Sheet Title
 First Floor Plan
 Second Floor Plan

Sheet Number
03-A1.1



B FOURTH FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 0 4 8 16



A THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 0 4 8 16

GENERAL NOTES

- REMOVE EXISTING CONDUITS, BOXES, DEVICES, & EQUIPMENT OF EXISTING FIRE ALARM SYSTEM BEING REMOVED COMPLETE AFTER INSTALLATION OF NEW FIRE ALARM SYSTEM. FIELD VERIFY CONDITIONS, ROUTINGS, & EXACT SCOPE OF REMOVAL. REFER TO ELECTRICAL DRAWINGS FOR LOCATION OF DEVICES.
- PATCH & PREP ALL HOLES / OPENINGS AFTER THE REMOVAL OF EXISTING FIRE ALARM SYSTEM FOR LIKE NEW CONDITION.
- PATCH & PREP GYPSUM BOARD / BLOCK WALL AFTER THE REMOVAL OF SURFACE MOUNTED DEVICES.
- PREP & PAINT NEW CONDUITS, JUNCTION BOXES, ETC. COLOR TO MATCH ADJACENT WALL / CEILING.
- INSTALL NEW FIRE ALARM SYSTEM COMPLETE. REFER TO ELECTRICAL DRAWINGS.
- RUN CONDUITS ABOVE SUSPENDED CEILING
- RUN CONDUITS THRU SOFFIT IN CORRIDORS ON 2ND THRU 4TH FLOOR.
- INSTALL NEW SURFACE MOUNTED FIRE ALARM EQUIPMENT. PREP AND PAINT ANY DAMAGED GYPSUM BOARD AFTER INSTALLATION.
- SEAL ALL PENETRATIONS THROUGH FLOOR & WALL ASSEMBLIES.
- CORE EXISTING CONCRETE SLAB / PRE-CAST CONCRETE PLANK FLOOR SYSTEM TO EXTEND NEW CONDUITS VERTICALLY THROUGH BUILDING. SEAL ALL PENETRATIONS PER UL ASSEMBLIES.
- MAINTAIN EXISTING FIRE ALARM SYSTEM OPERATIONAL UNTIL NEW SYSTEM IS IN PLACE & OPERATIONAL.
- COORDINATE ALL REQUIREMENTS INCLUDING FIRE WATCH, ETC. WITH FIRE DEPARTMENT.
- COORDINATE & PROVIDE RESIDENT NOTICES A MINIMUM OF 48 HOURS PRIOR TO ENTRY.

— 1 HR — UNIT DEMISING PARTITION
 — 2 HR — FIRE BARRIER STAIR ENCLOSURE / ELEVATOR SHAFT
 1 HOUR FLOOR CEILING ASSEMBLY TYPICAL

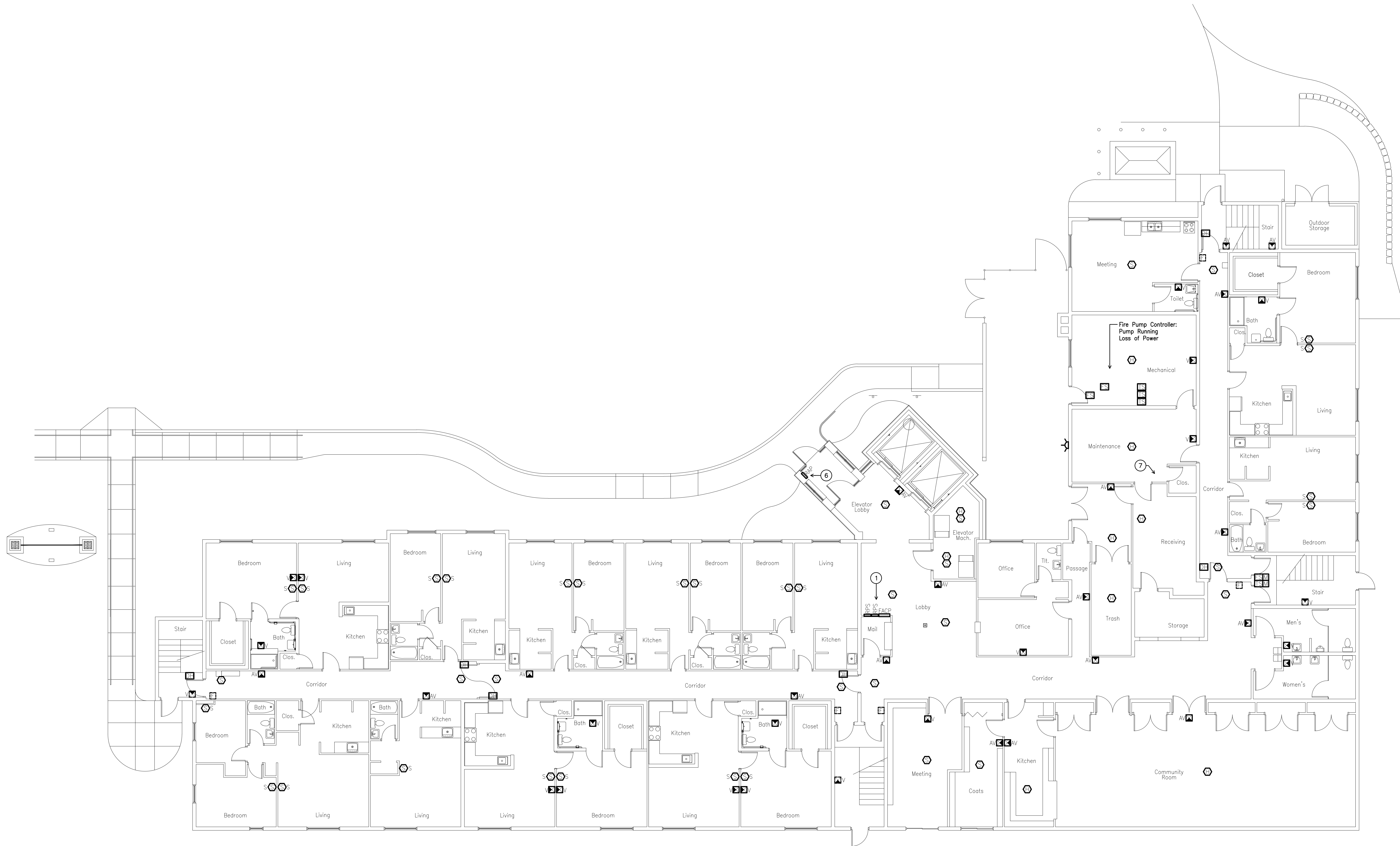


Fire Alarm System Upgrades at:
Wilmington Hi Rise
 958 Wilmington Ave
 Dayton, OH 45420

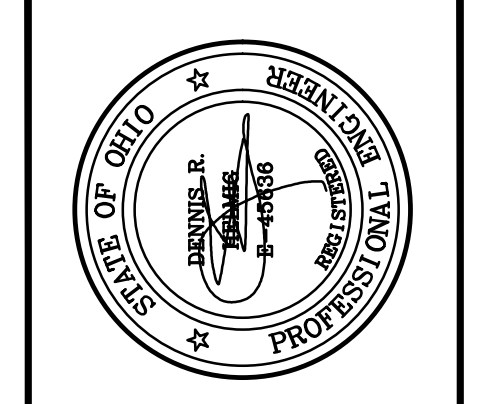
Project Number	2024-107
Date	May 16, 2025
Date	Issue
10.15.24	As-builts
12.17.24	50% Set
03.31.25	CD Review
05.16.25	Bid Set

Sheet Title
 Third Floor Plan
 Fourth Floor Plan

Sheet Number
03-A1.2



FIRST FLOOR EXISTING CONDITIONS



REVISIONS
05/16/25 for Construction

Fire Alarm System Replacement
2025 Park Manor, Westdale, Wilmington
Greater Dayton Premier Management

Helmig Lienesch LLC
 Consulting Engineers
 410 South Jefferson Street
 Dayton, Ohio 45402
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CHECKED BY:	DRH
DATE:	May 16, 2025
PROJECT NO:	Wilmington
TITLE:	FIRST FLOOR EXISTING
SHEET NO:	03-E301

Wilmington Hi-Rise First Floor Existing
 SCALE: (1/8"=1'-0")

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REVISIONS
05/16/2025 for Construction

Fire Alarm System Replacement
2025 Park Manor, Westdale, Wilmington
Greater Dayton Premier Management

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410 South Jefferson Street
Dayton, Ohio 45402
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DRAWN BY: WLE
CHECKED BY: DRH
DATE: May 16, 2025
PROJECT NO: Wilmington
TITLE: FIRST FLOOR REVISED
SHEET NO:

03-E302

DRAWING NOTES

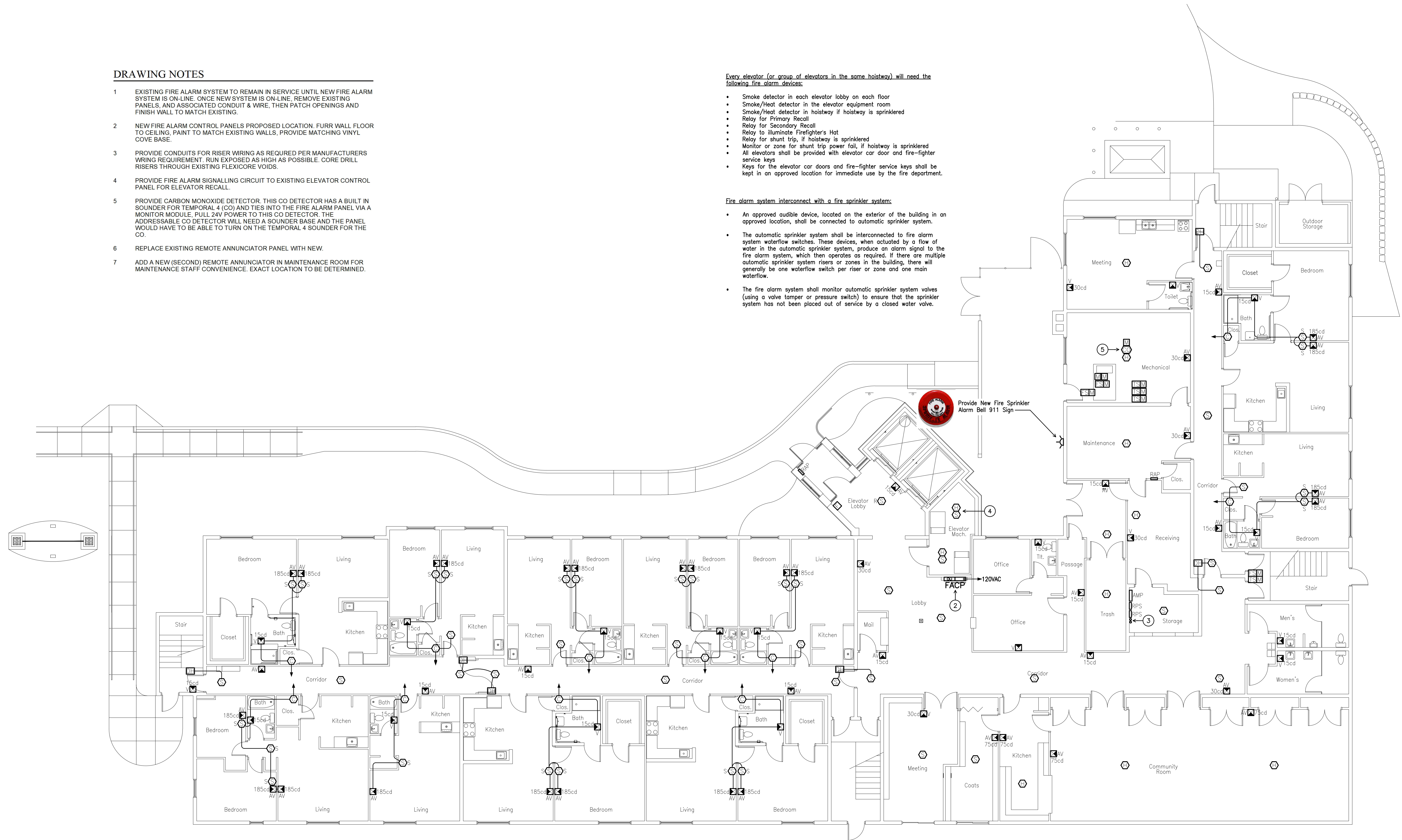
- EXISTING FIRE ALARM SYSTEM TO REMAIN IN SERVICE UNTIL NEW FIRE ALARM SYSTEM IS ON-LINE. ONCE NEW SYSTEM IS ON-LINE, REMOVE EXISTING PANELS, AND ASSOCIATED CONDUIT & WIRE, THEN PATCH OPENINGS AND FINISH WALL TO MATCH EXISTING.
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- REPLACE EXISTING REMOTE ANNUNCIATOR PANEL WITH NEW.
- ADD A NEW (SECOND) REMOTE ANNUNCIATOR IN MAINTENANCE ROOM FOR MAINTENANCE STAFF CONVENIENCE. EXACT LOCATION TO BE DETERMINED.

Every elevator (or group of elevators in the same hoistway) will need the following fire alarm devices:

- Smoke detector in each elevator lobby on each floor
- Smoke/Heat detector in the elevator equipment room
- Smoke/Heat detector in hoistway if hoistway is sprinklered
- Relay for Primary Recall
- Relay for Secondary Recall
- Relay to illuminate Firefighter's Hat
- Relay for shunt trip, if hoistway is sprinklered
- Monitor or zone for shunt trip power fail, if hoistway is sprinklered
- All elevators shall be provided with elevator car door and fire-fighter service keys
- Keys for the elevator car doors and fire-fighter service keys shall be kept in an approved location for immediate use by the fire department.

Fire alarm system interconnect with a fire sprinkler system:

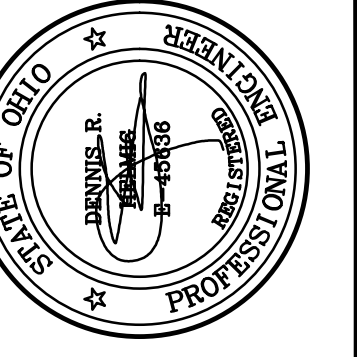
- An approved audible device, located on the exterior of the building in an approved location, shall be connected to automatic sprinkler system.
- The automatic sprinkler system shall be interconnected to fire alarm system waterflow switches. These devices, when actuated by a flow of water in the automatic sprinkler system, produce an alarm signal to the fire alarm system, which then operates as required. If there are multiple automatic sprinkler system risers or zones in the building, there will generally be one waterflow switch per riser or zone and one main waterflow.
- The fire alarm system shall monitor automatic sprinkler system valves (using a valve tamper or pressure switch) to ensure that the sprinkler system has not been placed out of service by a closed water valve.



FIRST FLOOR REVISED

Wilmington Hi-Rise First Floor Revised

SCALE: (1/8"=1'-0")

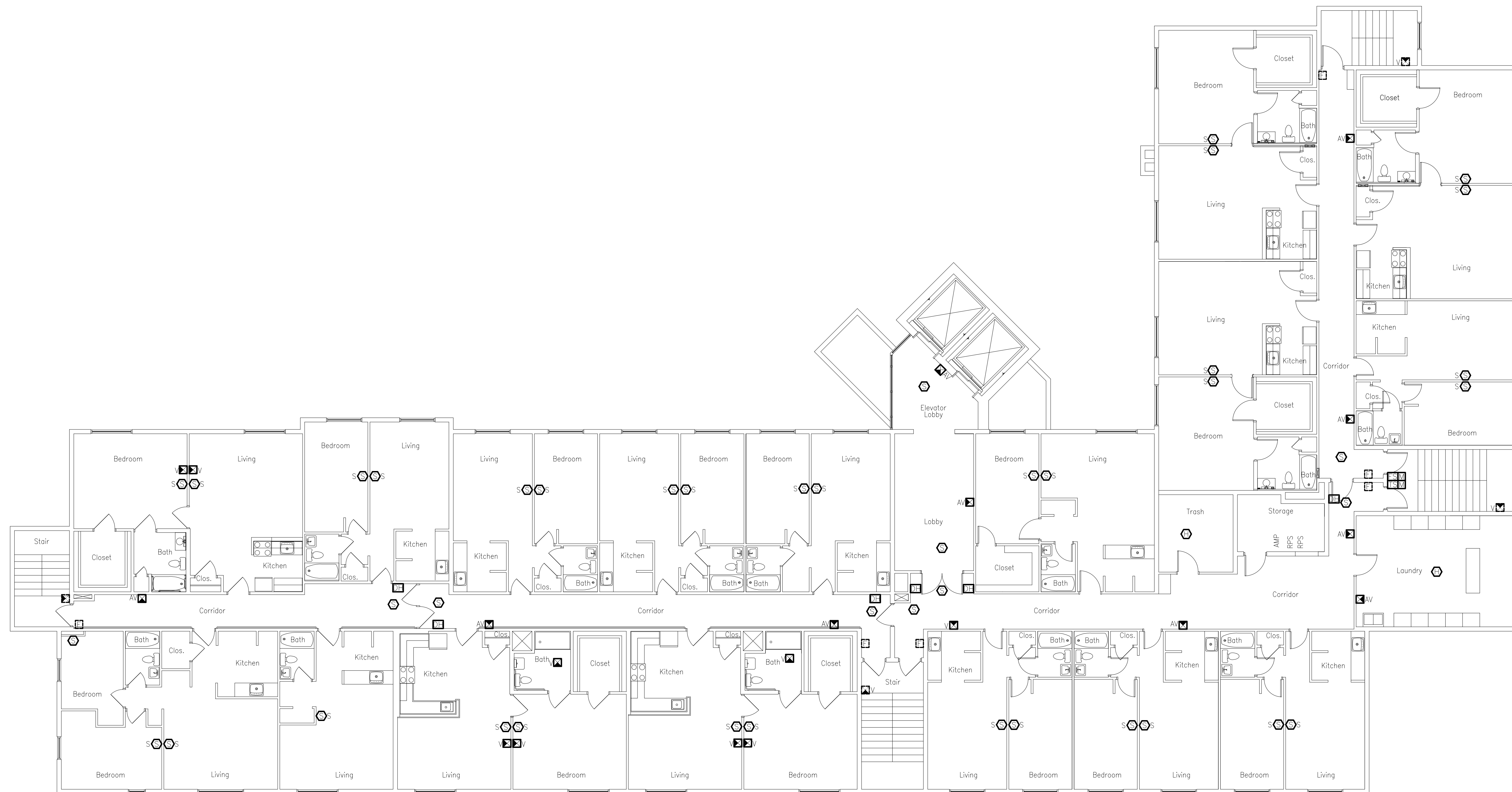


REVISIONS
05/16/25 For Construction

Fire Alarm System Replacement
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Greater Dayton Premier Management

Helmig Lienesch LLC
Consulting Engineers
410 South Jefferson Street
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(937) 228-4007
FAX: (937) 228-1936

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CHECKED BY: DRH
DATE: May 16, 2025
PROJECT NO: Wilmington
TITLE: SECOND FLOOR EXISTING
SHEET NO: 03-E303



SECOND FLOOR EXISTING CONDITIONS

Wilmington Hi-Rise Second Floor Existing

SCALE: (1/8"=1'-0")

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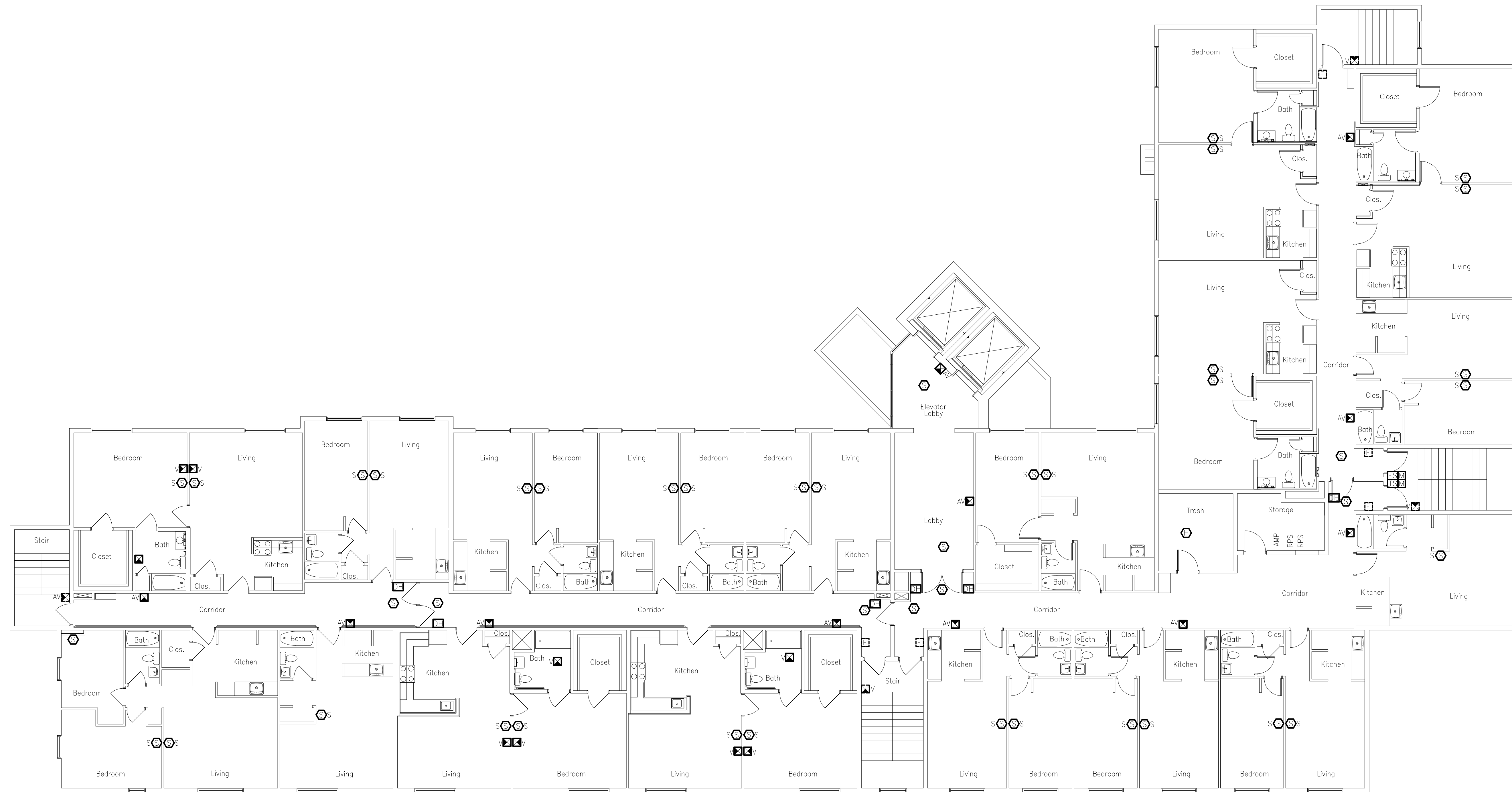


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05/16/25 For Construction

Fire Alarm System Replacement
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DATE: May 16, 2025
PROJECT NO: Wilmington
TITLE: THIRD FLOOR EXISTING
SHEET NO: 03-E305



THIRD FLOOR EXISTING CONDITIONS

Wilmington Hi-Rise Third Floor Existing

SCALE: (1/8"=1'-0")

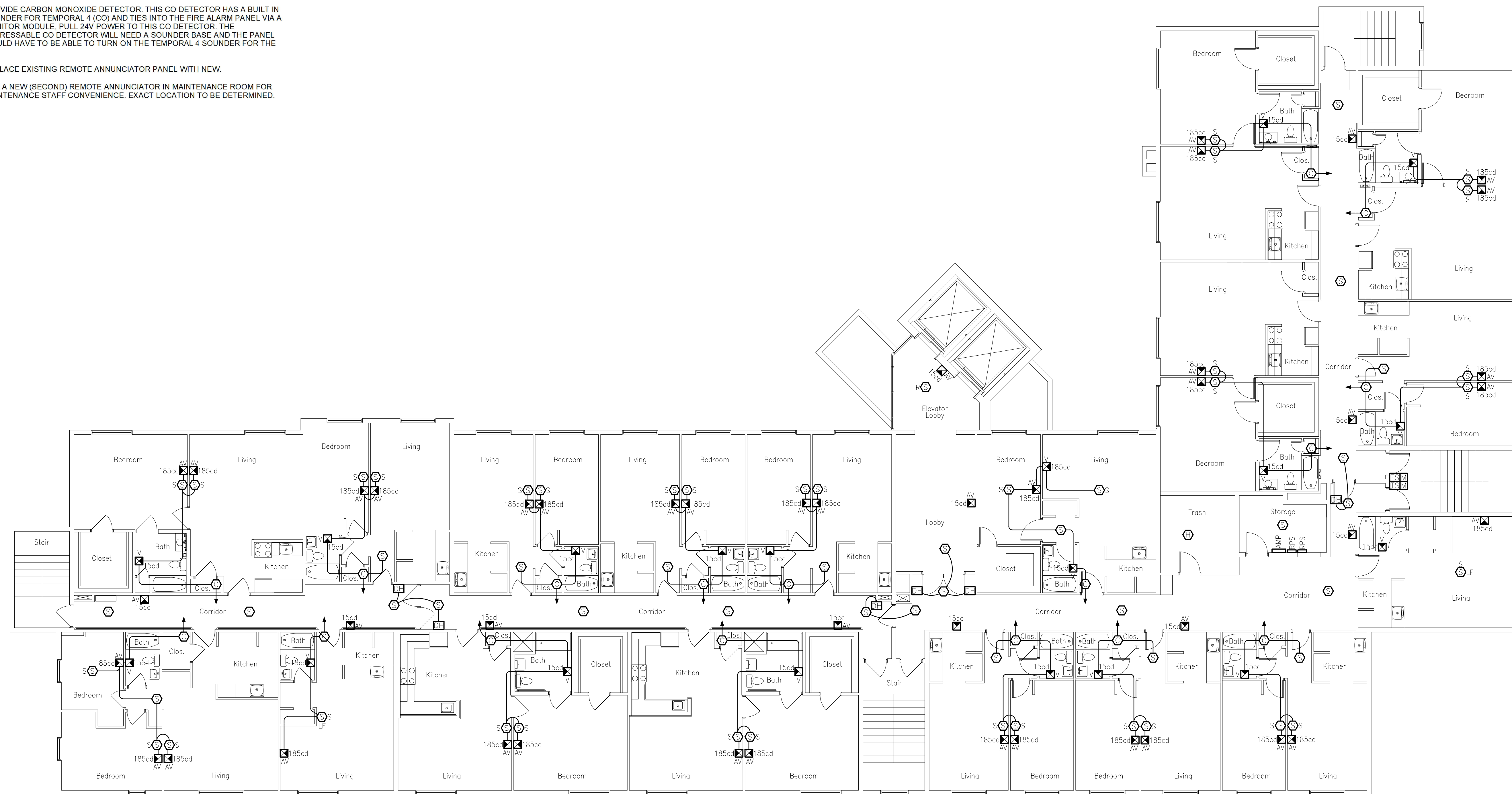
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DRAWING NOTES

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THIRD FLOOR REVISED

**Fire Alarm System Replacement
2025 Park Manor, Westdale, Wilmington
Greater Dayton Premier Management**

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DATE:	May 16, 2025
PROJECT NO:	Wilmington
TITLE:	THIRD FLOOR REVISED
SHEET NO:	03-E306

Wilmington Hi-Rise Third Floor Revised

SCALE: (1/8"=1'-0")

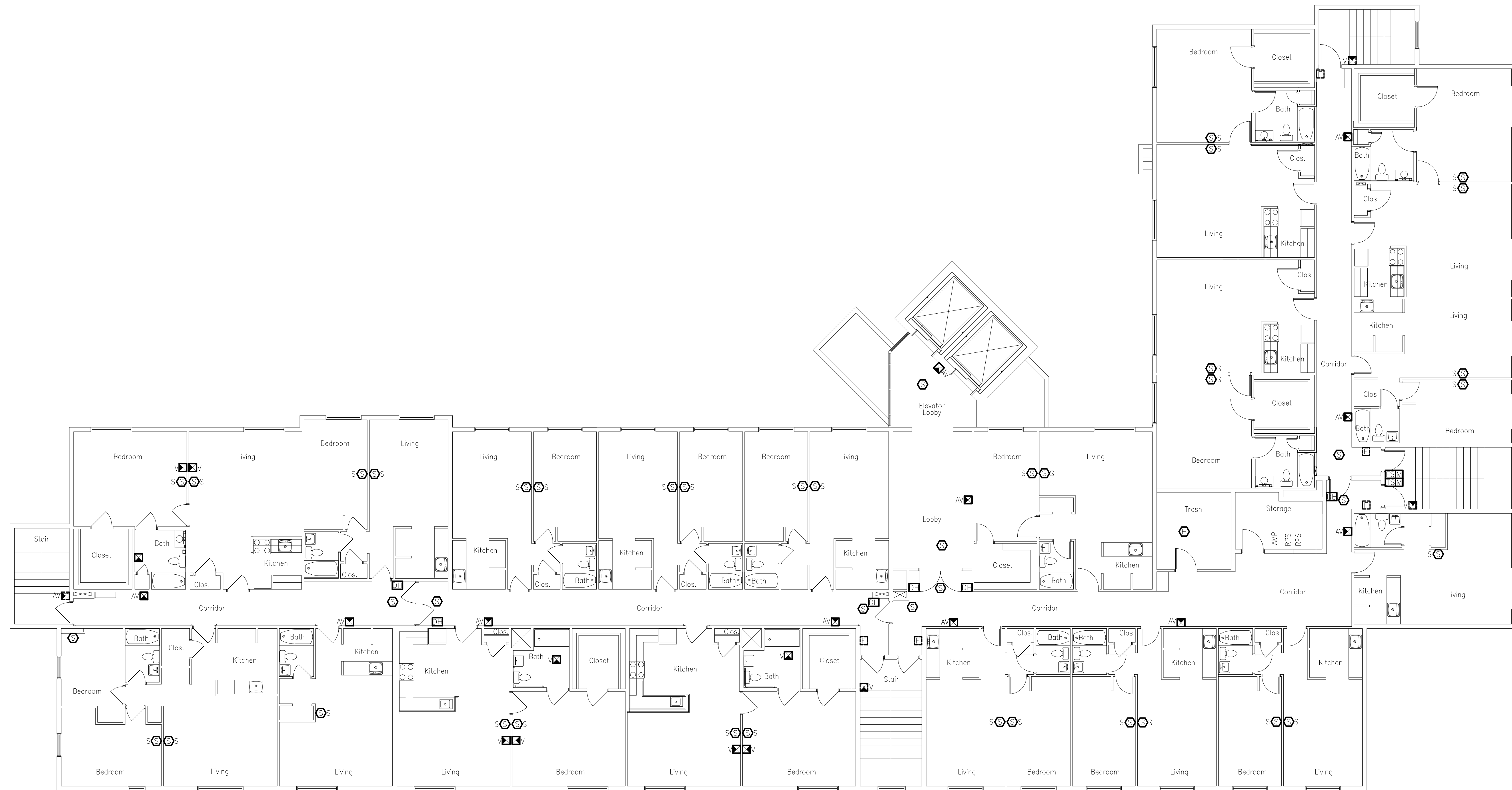


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2025 Park Manor, Westdale, Wilmington
Greater Dayton Premier Management

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FAX: (937) 228-1936

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DATE: May 16, 2025
PROJECT NO: Wilmington
TITLE: FOURTH FLOOR EXISTING
SHEET NO: 03-E307



FOURTH FLOOR EXISTING CONDITIONS

Wilmington Hi-Rise Fourth Floor Existing

SCALE: (1/8"=1'-0")

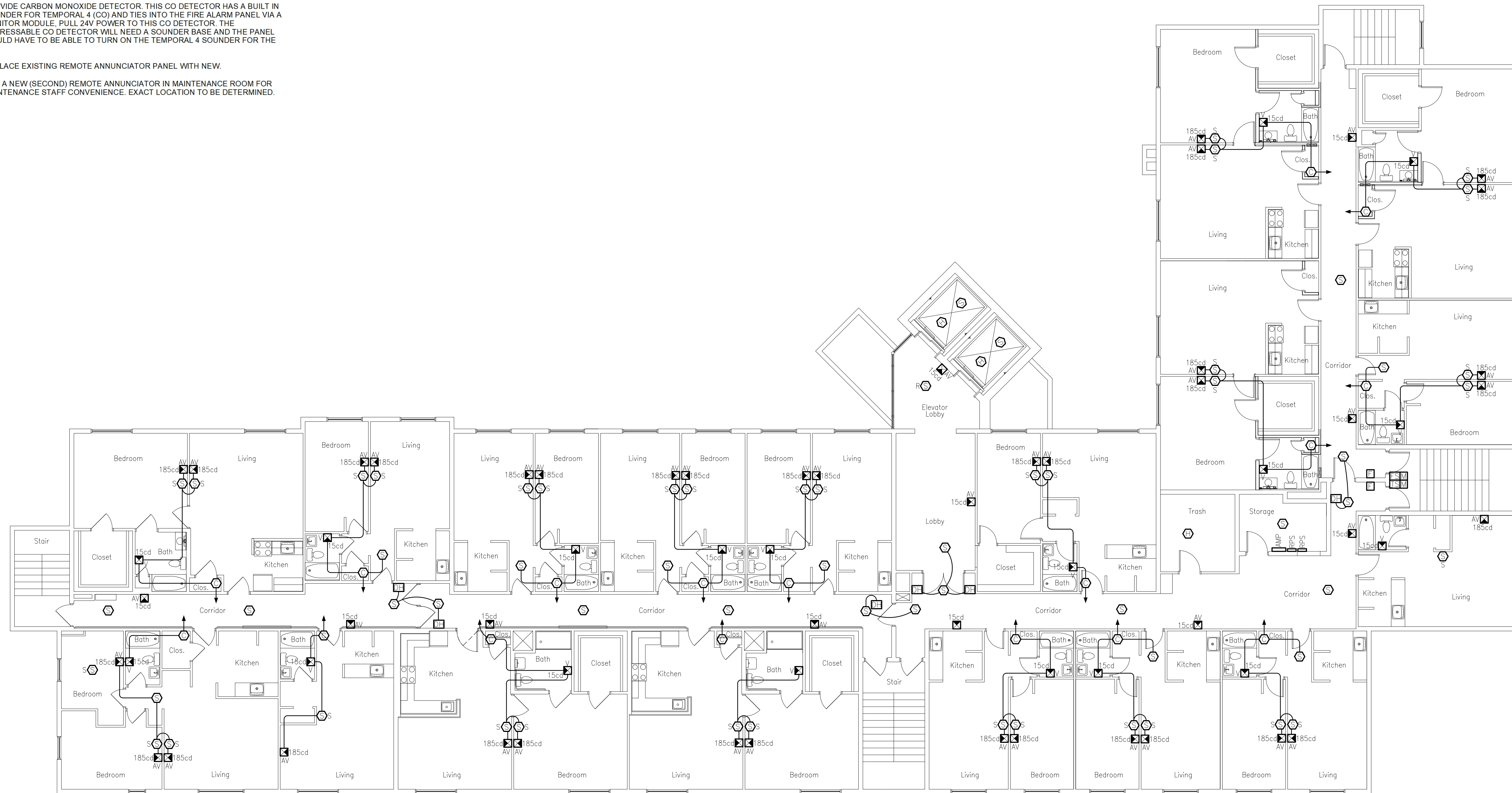
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REVISIONS
05/16/25 for Construction

DRAWING NOTES

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FOURTH FLOOR REVISED

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2025 Park Manor, Westdale, Wilmington
Greater Dayton Premier Management**

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Dayton, Ohio 45402
(937) 228-4007
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DATE:	May 16, 2025
PROJECT NO:	Wilmington
TITLE:	FOURTH FLOOR REVISED
SHEET NO:	03-E308

Wilmington Hi-Rise Fourth Floor Revised

SCALE: (1/8"=1'-0")